

Notes

- MECHANICAL NOTES:**
- PER CMC DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4"Ø. THE DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14', INCLUDING TWO 90° ELBOWS. TWO FEET SHALL BE DEDUCTED FROM THE ALLOWABLE LENGTH FOR EACH 90° ELBOW IN EXCESS OF THE TWO BASE ALLOWABLE.
 - PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS ARE REQUIRED ON ALL SHOWERS AND TUB/SHOWERS AS PER C.P.C. 408.3. ALL SHOWER AND TUB/SHOWER WALLS TO HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET PER CRC R307.2.
 - PROVIDE NON-REMOVABLE BACK FLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS PER C.P.C. 603.
 - ALL WATER HEATERS SHALL HAVE A PRESSURE RELIEF VALVE & DRAIN TO THE OUTSIDE PER C.P.C. 608-3.
 - WATER CLOSETS ARE TO BE MAXIMUM 1.28 GALLONS PER FLUSH.
 - SMOKE DETECTORS SHALL BE PERMANENT WIRED W/O DISCONNECT. TO BE 110 VOLT WITH BATTERY BACKUP AS PER CRC R314. SMOKE DETECTORS SHALL NOT BE INTERCONNECTED WITH ALARM SYSTEM.
 - PROVIDE INSTALLATION INSTRUCTIONS FOR ALL LISTED APPLIANCES FOR INSPECTOR PER CMC 303.1 ALL FIXED APPLIANCES TO BE SECURELY FASTENED IN PLACE. ANCHOR STRAPS FOR WATER HEATERS TO BE LOCATED WITHIN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION. LOWER ANCHOR STRAP TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE THE CONTROLS. PLUMBERS TAPE NOT ALLOWED. PER CPC 507.2.
 - DRYERS AND COOKING UNITS ARE REQUIRED TO HAVE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND FOUR PRONG OUTLET. PER CEC 210-52 & CEC 250-60. KITCHEN SMALL APPLIANCE BRANCH CIRCUITS WILL BE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS IN THE KITCHEN, INCLUDING THE REFRIGERATOR. PER CEC 210-52(b).
 - BATHROOM OUTLETS WILL BE SERVED BY A DEDICATED 20 AMP CIRCUIT. THIS CIRCUIT WILL NOT SERVE ANY OTHER RECEPTACLES. PER CEC 210-52. 16" DIMMERS TO BE USED ON ALL TRACK LIGHTING SWITCHING THROUGHOUT THE HOUSE. VERIFY WITH OWNER PRIOR TO INSTALLATION.
 - CLOTHES DRYER VENT TO BE OF SMOOTH METAL AND PER CMC 504.3
 - COMBUSTION AIR OPENINGS SHALL BE LOCATED WITHIN THE UPPER 12" OF THE ENCLOSURE, AND THE LOWER 12" OF THE ENCLOSURE PER CMC 702.1. THESE OPENINGS SHALL BE PROVIDED WITH A GALVANIZED SLEEVE OF NOT LESS THAN 26 GAUGE STEEL OR OTHER APPROVED MATERIAL. SHALL HAVE A MINIMUM CROSS-SECTIONAL DIMENSION OF 3"AND TERMINATE IN A SPACE AT LEAST 3" IN DEPTH OPEN TO THE FRONT OF THE APPLIANCE PER CMC 704.1. INSTALLATION OF FACTORY MADE AIR DUCTS TO COMPLY WITH CMC STANDARD 6-3.
 - APPLIANCES INSTALLED IN GARAGE WHICH GENERATE A GAS SPARK, OR FLAME SHALL BE INSTALLED WITH PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE FLOOR LEVEL AND SHOULD BE PROTECTED FROM AUTO IMPACT PER CPC 308.1.
 - INSTALL R-12 BATT H2O HEATER BLANKET AND VENT THROUGH ROOF PER CPC 510.0 . PROVIDE COMBUSTION AIR PER CMC AND PROVIDE EXPANSION TANK PER CPC 608 AND OVERFLOW.
 - INSTALL A MINIMUM R-4 INSULATION ON ALL DOMESTIC HOT WATER PIPES.
 - SETBACK THERMOSTATS ARE REQUIRED.
 - RECEPTACLES THAT PROVIDE POWER FOR A SPA, HOT TUB OR HYDROMASSAGE BATHTUB SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTED. ELECTRICAL LIGHTING FIXTURES AND OUTLETS IN AREA OF SPAS AND HOT TUBS SHALL COMPLY WITH ARTICLE 680 OF THE CEC.
 - PLUMBING LINES SHALL NOT BE USED AS ELECTRICAL GROUNDS.
 - SMOKE DETECTORS.
 - A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA.
 - IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND THEY SHALL BE EQUIPPED WITH A BATTERY BACKUP.
 - THE DETECTORS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.
 - WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.
 - SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WHICH UNDERGO REPAIRS, ALTERATIONS OR ADDITIONS.
 - DETECTORS SHALL BE INTERCONNECTED AND SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT.
 - PENETRATIONS OF FIRE RATED WALLS TO BE AS PER CRC. INSTALL REQUIRED FIRE BLOCKING AROUND PENETRATIONS, ELECTRIC OUTLET BOXES STAGGERED 24" ON OPPOSING WALL SIDES, AND METHODS FOR SEALING PIPES OR CONDUIT.
 - MECHANICAL VENTILATION SHALL BE PROVIDED PER THE PROJECT SPECIFIC REQUIRMENTS ON SHEET E1.#

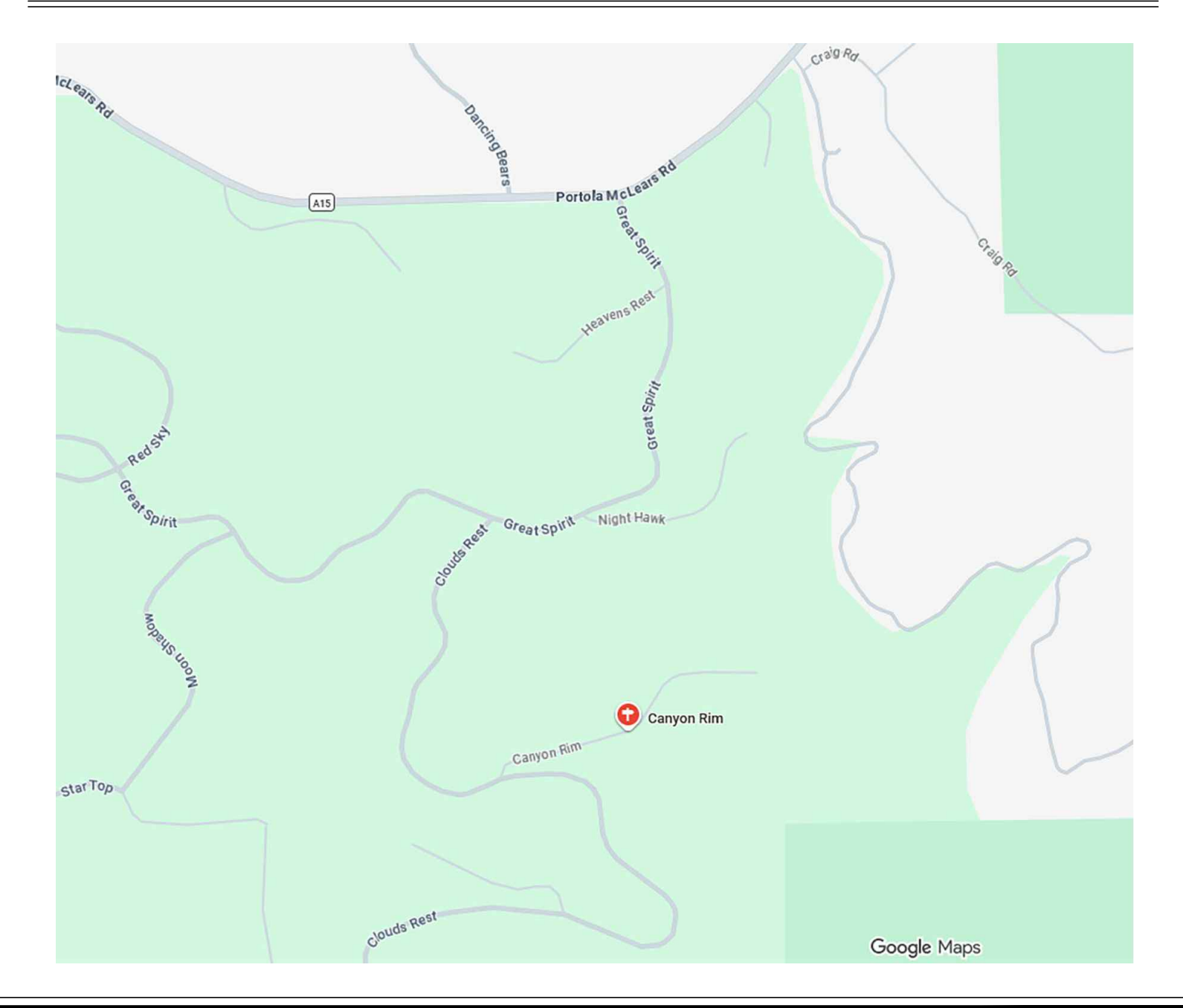
- ENERGY/LIGHTING/ELECTRICAL/ENVELOPE**
- SEE SHEETS (E#.#) FOR GENERAL AND PROJECT SPECIFIC REQUIREMENTS RELATING TO ENERGY COMPLIANCE

- PLUMBING NOTES**
- ALL PLUMBING TO COMPLY WITH C.P.C.
 - ALL DRAIN, WASTE AND VENT LINES SHALL BE ABS.
 - ALL PIPE SHALL BE PAINTED TO MATCH SURROUNDING FINISHES IF EXPOSED TO WEATHER.
 - PLUMBING FIXTURES SHALL BE WATER-CONSERVING.
 - SINGLE FLUSH WATER CLOSETS (TOILETS) SHALL BE 1.28 GALLONS OR LESS PER FLUSH
 - URINALS SHALL NOT EXCEED 0.125 GALLON LESS PER FLUSH, EFFECTIVE FLUSH VOLUME OF ALL URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
 - SINGLE SHOWERHEAD SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS OR LESS PER MINUTE@ 80 PSI. MULTIPLE SHOWER HEADS SERVING ONE SHOWER THE COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE @ 80 PSI. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO OPERATE AT A TIME.
 - RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 OR LESS GALLON PER MINUTE @ 80 PSI. MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
 - LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.
 - KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAS RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI. AND MUST DEFAULT TO A MAX FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. WHERE COMPLYING FAUCETS ARE NOT AVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REQUIRED REDUCTION IN FLOW RATE

Abbreviations

ADDITIONAL	ADD'L
ALTERNATE	ALT
APPROXIMATE	APPROX
BELOW	BLW
BETWEEN	BTWN
BLOCK	BLK
BOTH SIDES	b/s
BOTTOM	BOT
BUILDING	BLDG
CALIFORNIA BUILDING CODE	CBC
CANTILEVER	CANT
CEILING	CLG
CENTERLINE	CL
CHANNEL	CHNL
CLEAR	CLR
COLUMN	COL
CONCRETE	CONC.
CONCRETE MASONRY UNIT	CMU
CONTINUOUS	CONT
DETAIL	DET
DIAMETER	Ø, DIA.
DIMENSION	DIM
DOUBLE	DBL
DOUGLAS FIR	DF
DRAWING	DWG
EACH	EA
EACH END	EE
EACH FACE	EF
EACH SIDE	ES
EACH WAY	EW
ENGINEER OF RECORD	E.O.R.
EQUAL	EQ
EXISTING	(E)
EXPANSION	EXP
EXTERIOR	EXT
FACE OF STUD	F.O.S.
FINISH	FIN
FLOOR	FLR
FOOTING	FTG
FOUNDATION	FDN
GAGE	GA
GALVANIZED	GA/V
GLUED-LAMINATED BEAM	GLB
GYPSPUM BOARD	GYP
HANGER	HGR
HEADER	HDR
HEIGHT	HT
HF	HF
HEM-FIR	HEM-FIR
HORIZONTAL	HORIZ
INFORMATION	INFO
INSIDE DIAMETER	IDT
INTERIOR	INT
JOIST	JST
KILN DRIED	KD
LAMINATED VENEER LUMBER	LVL
LIGHT	LT
MACHINE BOLT	MB
MANUFACTURER	MFR
MAXIMUM	MAX
MECHANICAL	MECH
MINIMUM	MIN
MISCELLANEOUS	MISC
NEW	(N)
NOT TO SCALE	NTS
NUMBER/POUNDS	#
ON CENTER	O.C.
ONE SIDE	o/s
OPPOSITE	OPP
OUTSIDE DIAMETER	OD
OVER	o/
ORIENTED STRAND BOARD	OSB
PARALLEL	PARL or //
PLYWOOD	PLY
POUNDS PER SQUARE FOOT	PSF
POUNDS PER SQUARE INCH	PSI
PRESSURE TREATED or PRESERVATIVE TREATED	PT
PROPERTY LINE	PL or PL
RADIUS	R.
REDWOOD	RWD
REFERENCE	REF
REQUIRED	REQ'D
SCHEDULE	SCHED
SIMILAR	SIM
SLAB ON GRADE	S.O.G.
SPECIFICATION	SPEC
SQUARE	SQ
STANDARD	STD
STEEL	STL
SYMMETRICAL	SYM
THREADED	THRD
TONGUE & GROOVE	T&G
TOP & BOTTOM	T&B
TYPICAL	TYP
UNLESS NOTED OTHERWISE	UNO
VERIFY IN FIELD	VIF
VERTICAL	VERT
WEIGHT	WT
WITH	w/
WITHOUT	w/o
WONKY	WOKY
WTF	WHAT'S THAT FOR

Vicinity Map



Project Image



Project Description

New Single Family Dwelling with attached garage and detached utility structure.

Code Analysis
 Reference Standards 2025 CRC / CBC and all local ordinance
 Classification R3 / U
 Construction Type V B

Occupancy Separation: 1 hr between R3 and U Occupancies
Fire Ratings per CBC Table 601
 Exterior Bearing Walls "zero hour" Fire Resistance Rating
 Interior Non-bearing Walls "zero hour" Fire Resistance Rating

Sprinklered

Total conditioned Class R3 floor area 2475 sf
 Total unconditioned Class U floor area 1434 sf
 Reference Engineering for applicable loading and seismic analysis

Project Location

4910/0535 Canyon Rm
 Portola CA 96122
 APN 131-280-014

Project Owner

Dan Warren & Michele Twinning
 PO Box 312
 Tahoe Vista, CA 96148

Homeowner's Association

Nakoma Homeowners Association

Local Contact

Ken Anderson
 LT Vista
 PO Box 55
 Tahoe Vista, CA 96148
 (530) 546-7715

Sheet Schedule

Sheet Number	Description
A0.1	Cover Sheet - Gen Notes
C0.1	Survey
C1.0	Proposed Site Plan
C1.1	Proposed Site Plan Detail
A1.0	Floor Plans - Residence
A2.0	Elevations - Residence
A3.0	Floor Plan/Elev Utility
E1.3	Roof / Solar Plan

Project Consultants

Land Surveying:
 Bastian Engineering
 Daniel B Bastian - Principal
 (530) 249-0468
 bastianengineeringinc@gmail.com
 CA Lic 7045
Plan Preparation:
 LT Vista
 Ken Anderson - Principal
 (530) 546-7715
 info@ltvista.com

Structural Engineering:
 Jason Atwood, P.E.
 (530) 906-0242
 atwoodjason@yahoo.com
 CA Lic # C 88865

BMP Design:
 Tieslau Civil Engineering
 Adrian Tieslau - Principal
 (530) 546-4805
 atieslau@tcetahoo.com

Title 24 Energy Analysis:
 LT Vista
 General Contractor:
 Owner/Builder

Applicable Codes

2025 CALIFORNIA BUILDING CODE 2025 CALIFORNIA RESIDENTIAL CODE NTFPD AMENDED FIRE CODE
 2025 CALIFORNIA ELECTRICAL CODE 2025 CALIFORNIA MECHANICAL CODE NTFPD ORD 02-2025
 2025 CALIFORNIA PLUMBING CODE 2025 CALIFORNIA ENERGY CODE ASCVD ORD 9-2022
 2025 GREEN BUILDING CODE 2025 CA WILDLAND URBAN INTERFACE CODE

ALL APPLICABLE LOCAL CODES SHALL BE OBSERVED. WHEN CONFLICTING OR OVERLAPPING STANDARDS EXIST THE MORE STRINGENT OR RESTRICTIVE CODE SHALL APPLY

Warren Twinning

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6-2-26

HOA Only

T Vista Technical Services
 Ken Anderson
 PO Box 312
 Tahoe Vista, CA 96148
 (530) 546-7715
 info@ltvista.com

Project: Warren Twinning

REVISIONS:

KEY #	DATE	BY	FOR
1	xxxxx	xxxx	xxxxx

APN: 131-280-014

JOB SITE:
 4910/0535 Canyon Rm
 Portola CA 96122

OWNER:
 Dan Warren & Michele Twinning

CONTACT:
 Ken Anderson
 PO Box 55
 Tahoe Vista, CA 96148
 (530) 546-7715

DESCRIPTION:
 New single family dwelling with attached garage & detached utility building

JOB: 25-027
 DATE: December 2025
 DRAWN: KBA
 SCALE: 1/4" = 1'-0" U.N.O.
 SHEET: # OF #
 © LTVista Technical Services, 2025
 Plans prepared by:

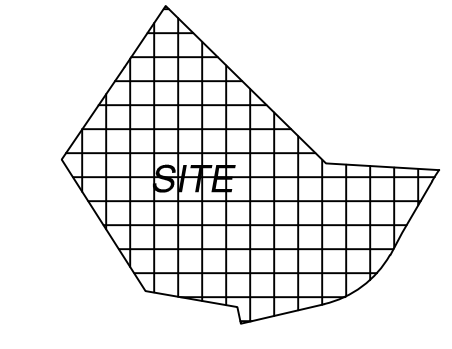
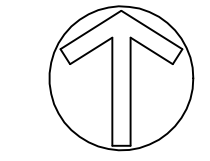
K.B. Anderson, Proprietor

A0.1

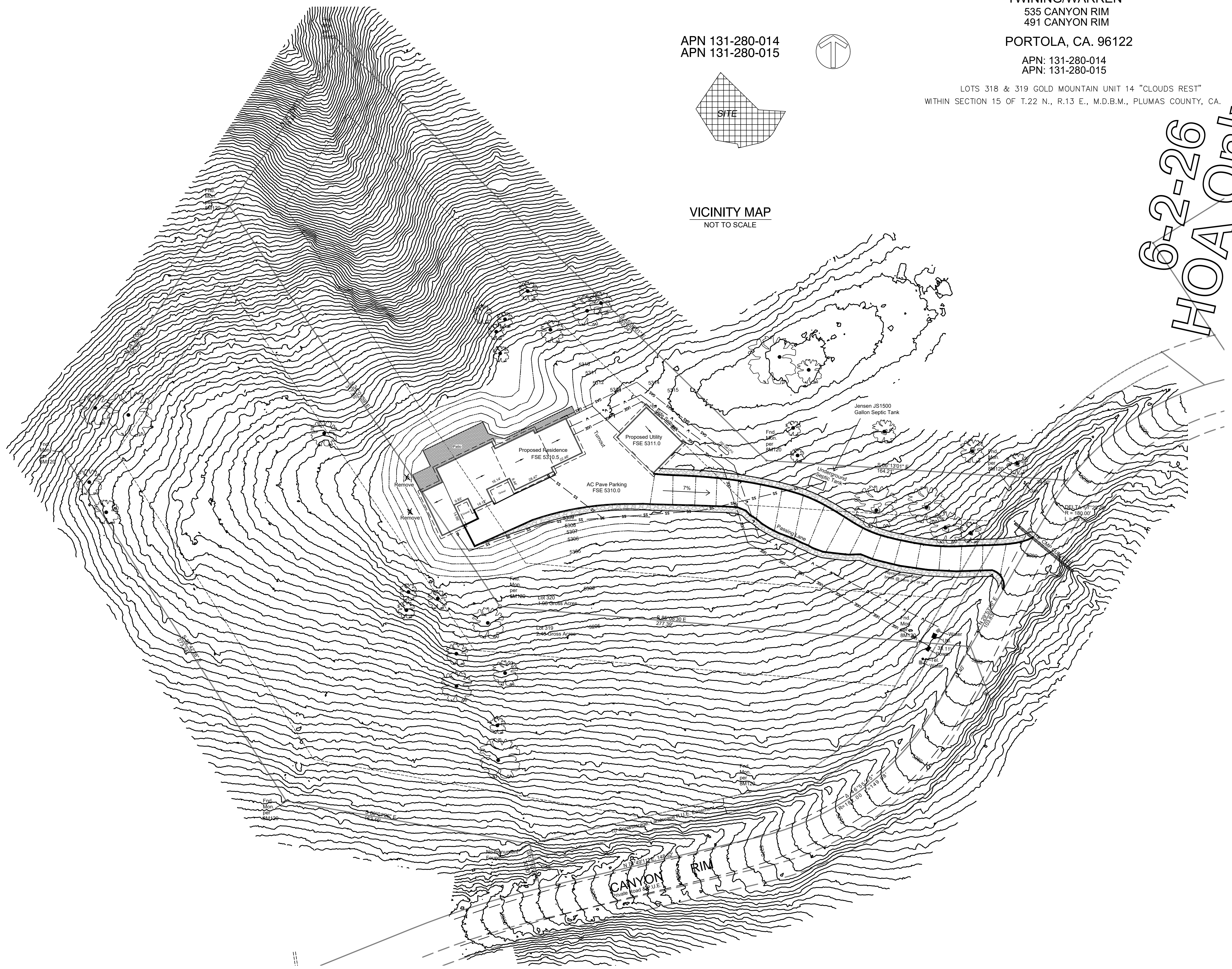
TWINING/WARREN
 535 CANYON RIM
 491 CANYON RIM
 PORTOLA, CA. 96122
 APN: 131-280-014
 APN: 131-280-015

LOTS 318 & 319 GOLD MOUNTAIN UNIT 14 "CLOUDS REST"
 WITHIN SECTION 15 OF T.22 N., R.13 E., M.D.B.M., PLUMAS COUNTY, CA.

APN 131-280-014
 APN 131-280-015



VICINITY MAP
 NOT TO SCALE



6-2-26
 HOA Only

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 Technical Services
 K.B. Anderson
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Project:
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 OWNER: Dan Warren & Michele Twinning
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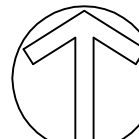
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 SHEET _____ # OF #
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 Plans prepared by:

K.B. Anderson, Proprietor

PROPOSED SITE PLAN
 SCALE: 1" = 30'-0"

C1.0

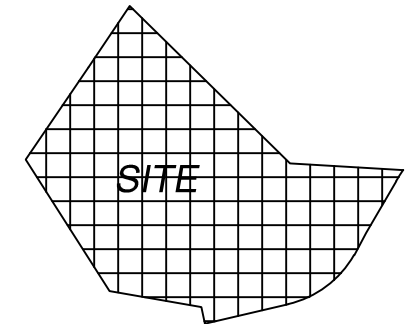
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TWINING/WARREN
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NOT TO SCALE

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OWNER: Dan Warren & Michele Twinning
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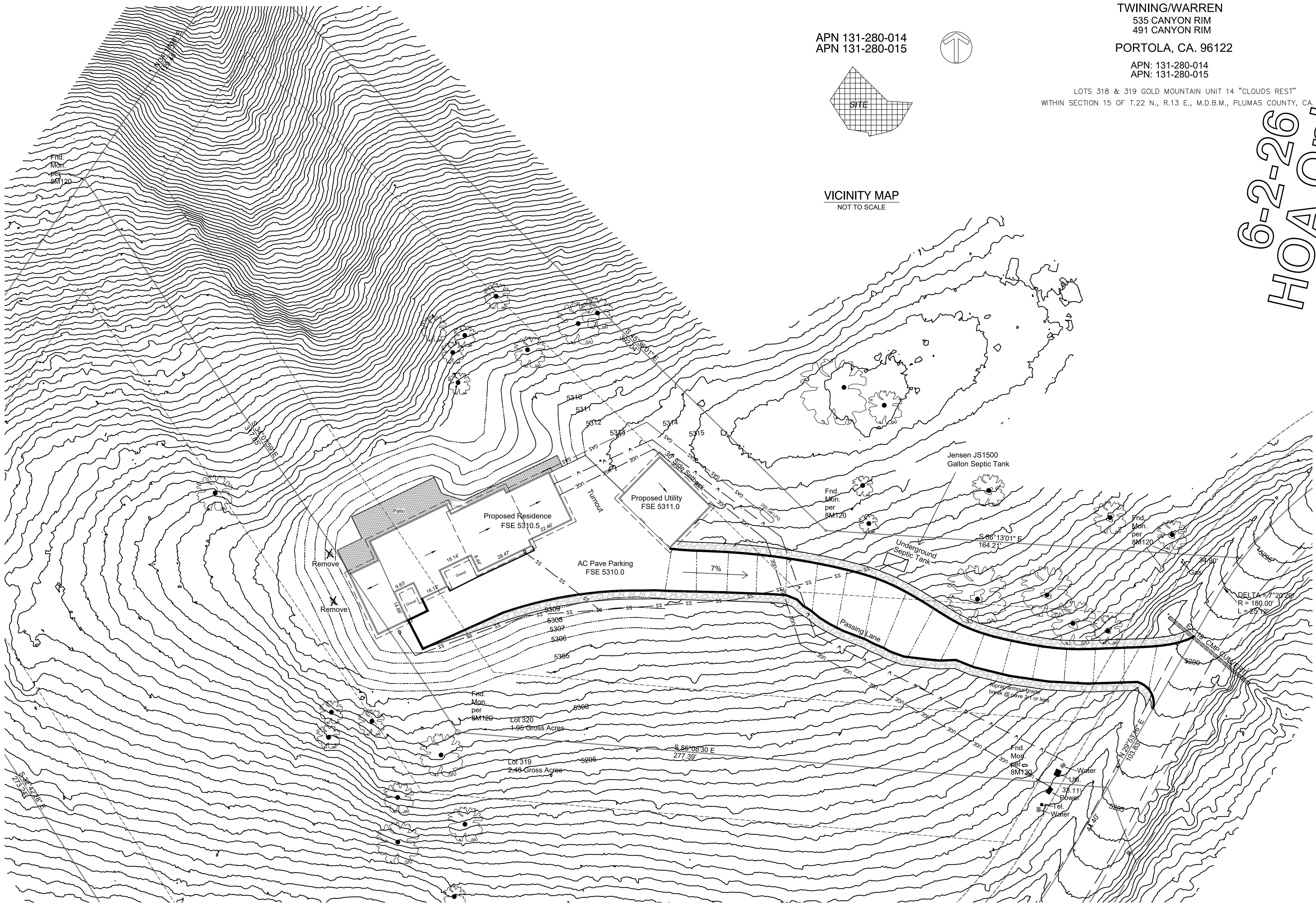
CONTACT:
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PO Box 55
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(530) 546-7715

DESCRIPTION:
New single family dwelling with
attached garage & detached
utility building

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C1.1



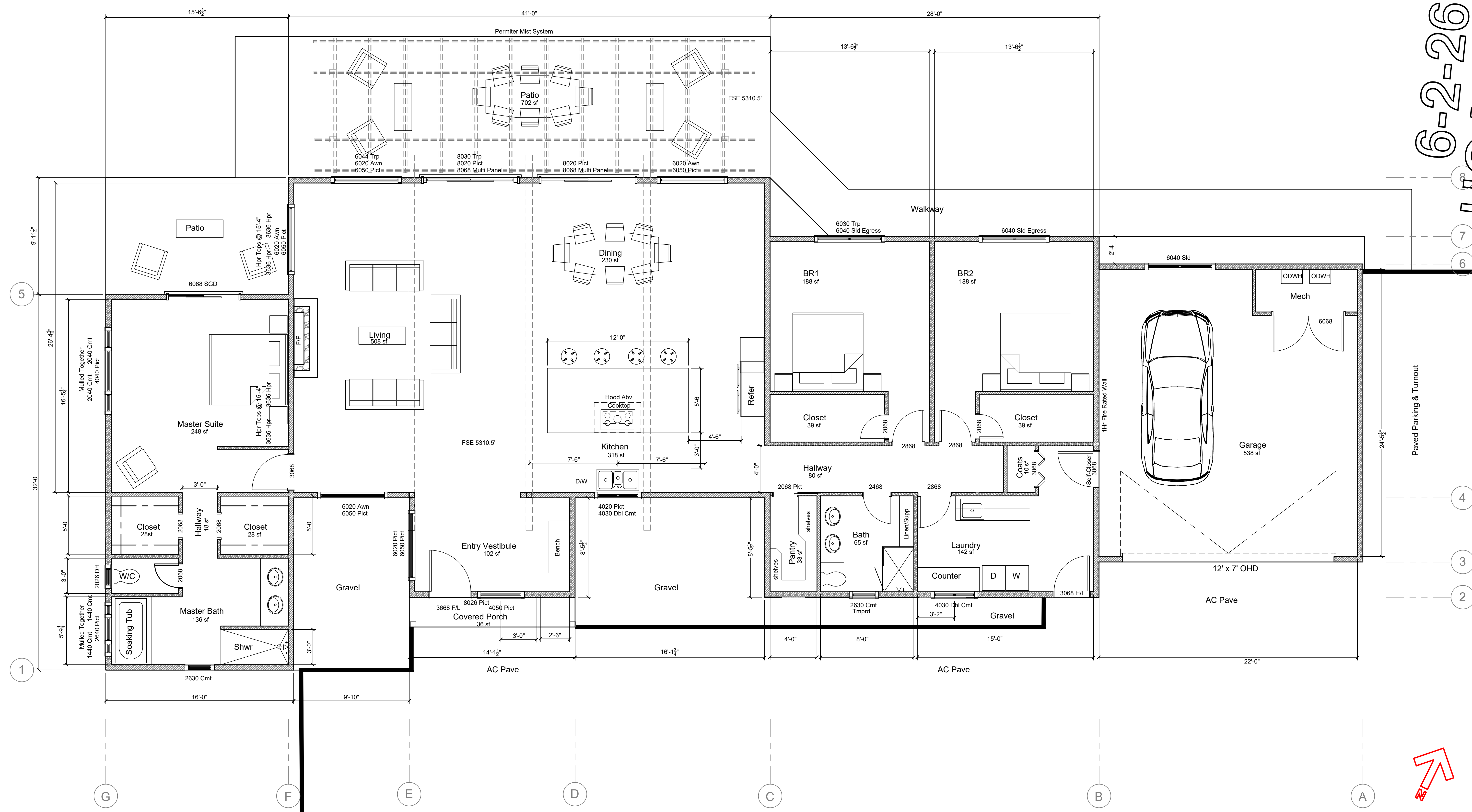
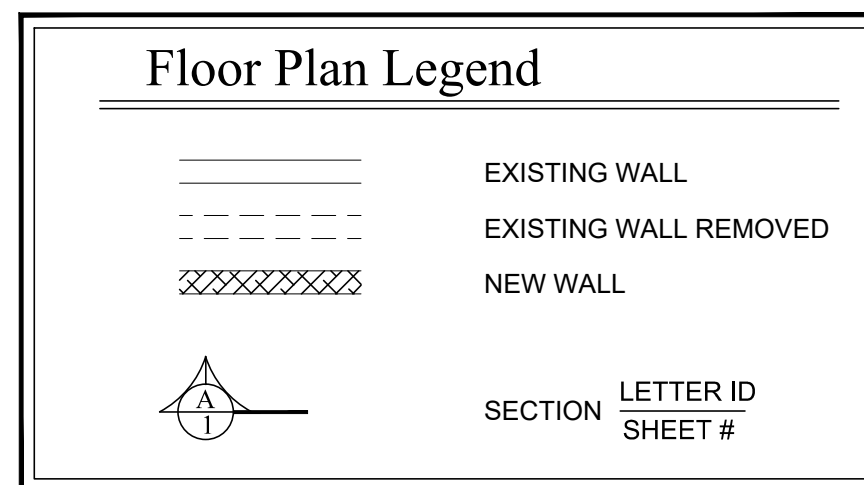
PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

Aging-in-place design & fall prevention notes:

1. Reinforcement shall be solid lumber or other construction materials approved by the enforcing agency.
2. Reinforcement shall not be less than 2 by 8 inch (51 mm by 203 mm) nominal lumber, [1-1/2, inch by 7-1/2, inch (38 mm by 184 mm) actual dimension] or other construction material providing equal height and load capacity. Reinforcement shall be located between 32 inches (812.8 mm) and 39", inches (997 mm) above the finished floor flush with the wall framing.
3. Water closet reinforcement shall be installed on both side walls of the fixture, or one side wall and the back wall.
4. Information and/or drawings identifying the location of the grab bar reinforcement shall be placed in the operation and maintenance manual in accordance with CGBC Section 4.410.1
5. Shower reinforcement shall be continuous where wall framing is provided.
6. Bathtub and combination bathtub/shower reinforcement shall be continuous on each end of the bathtub and the back wall. Additionally, back wall reinforcement for a lower grab bar shall be provided with the bottom edge located no more than 6 inches (152.4 mm) above the bathtub rim.

Area Tabulation

PROPOSED CONDITIONED AREA	
TOTAL (N) CONDITIONED AREA	2475 SF
CLASS "U" ATTACHED GARAGE	538 SF
CLASS "U" DETACHED UTILITY	896 SF
TOTAL (N) UNCONDITIONED AREA	1434 SF



6-2-26

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 Technical Services
 Project: **Warren Twinning**
 Owner: Dan Warren & Michele Twinning
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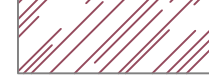


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 SHEET # OF #
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 Plans prepared by:

K.B. Anderson, Proprietor

PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"

A1.0

EXTERIOR FINISH LEGEND

	DARK CHARCOAL GRAY WINDOWS / DOORS WATERTABLE
	DARK CHARCOAL GRAY STANDING SEAM METAL ROOF
	GLASS
	VERTICAL CEDAR CLEAR HEART NATURAL
	ELDORADO STONE MOUNTAIN LEDGE



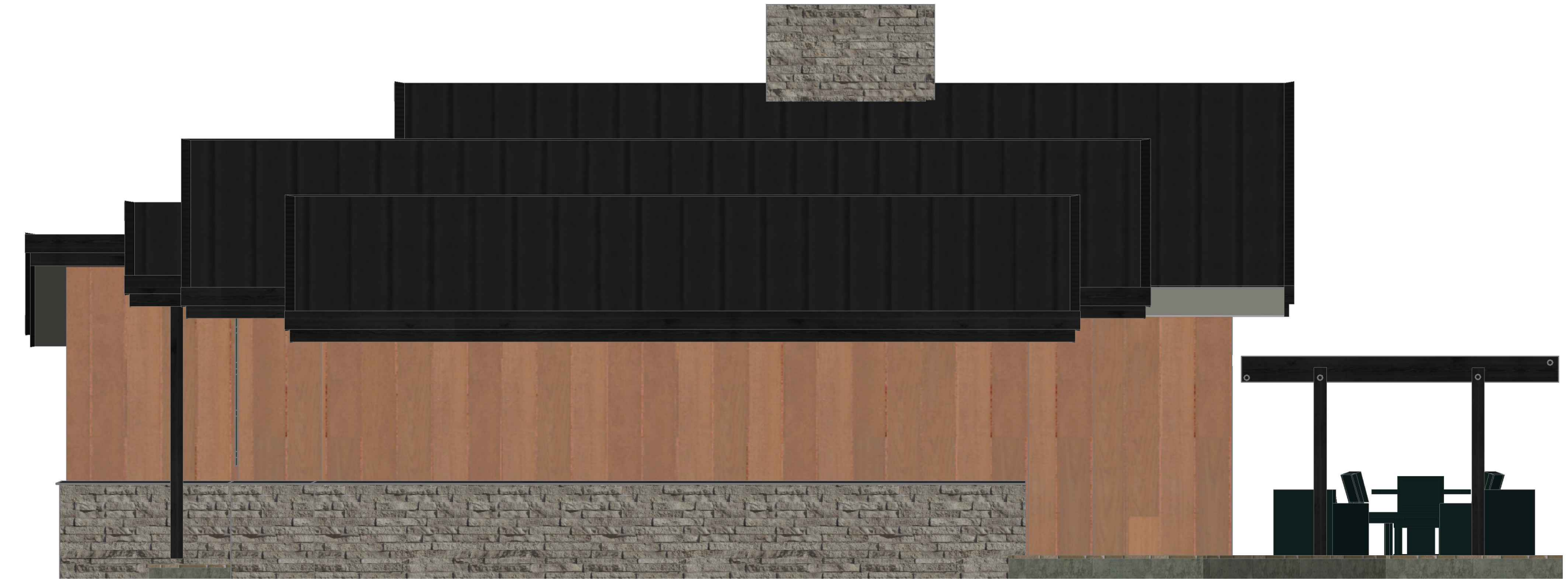
REAR ELEVATION (North)

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (West)

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION (East)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION (South)

SCALE: 1/4" = 1'-0"

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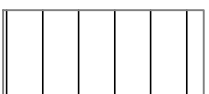



SCALE 1/4" = 1'-0" U.N.O.

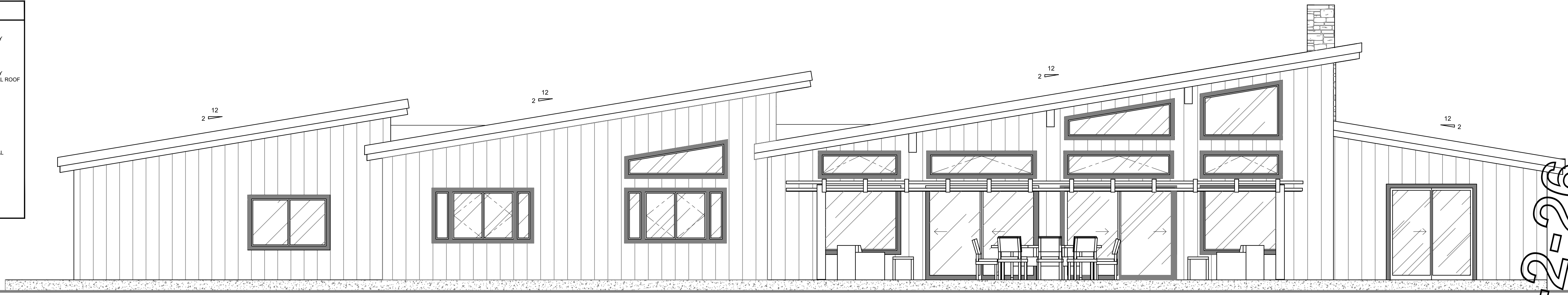
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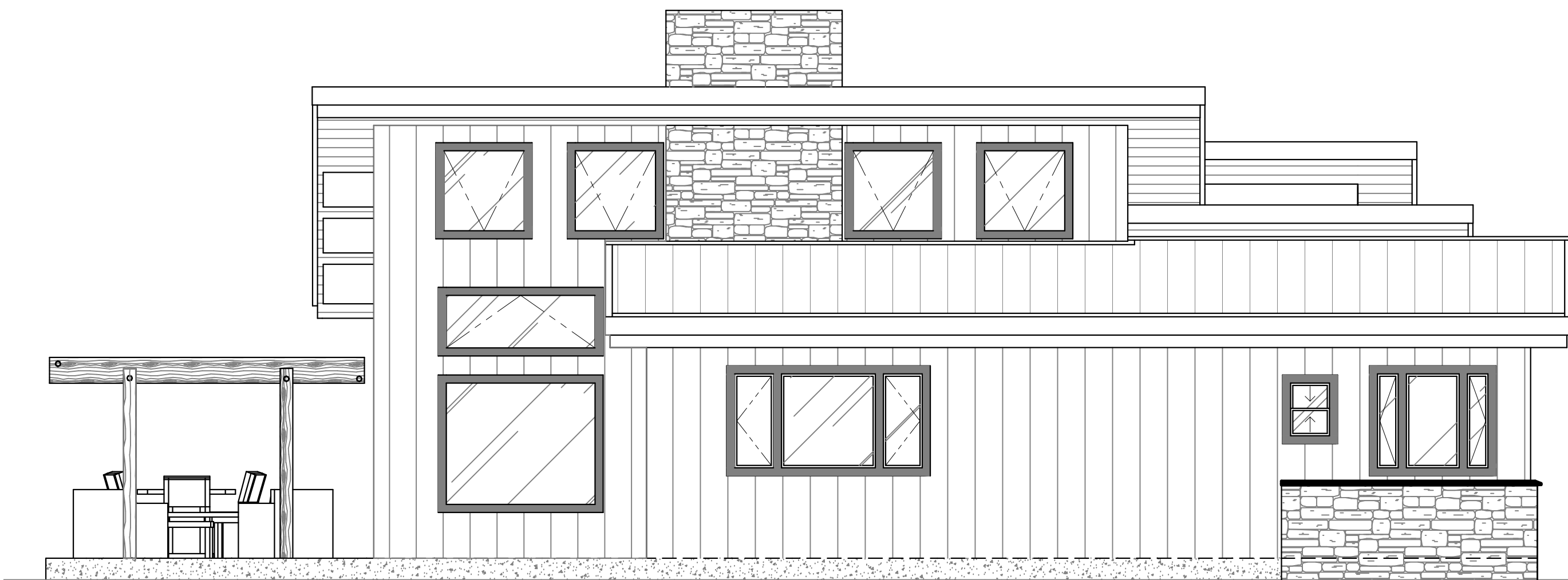
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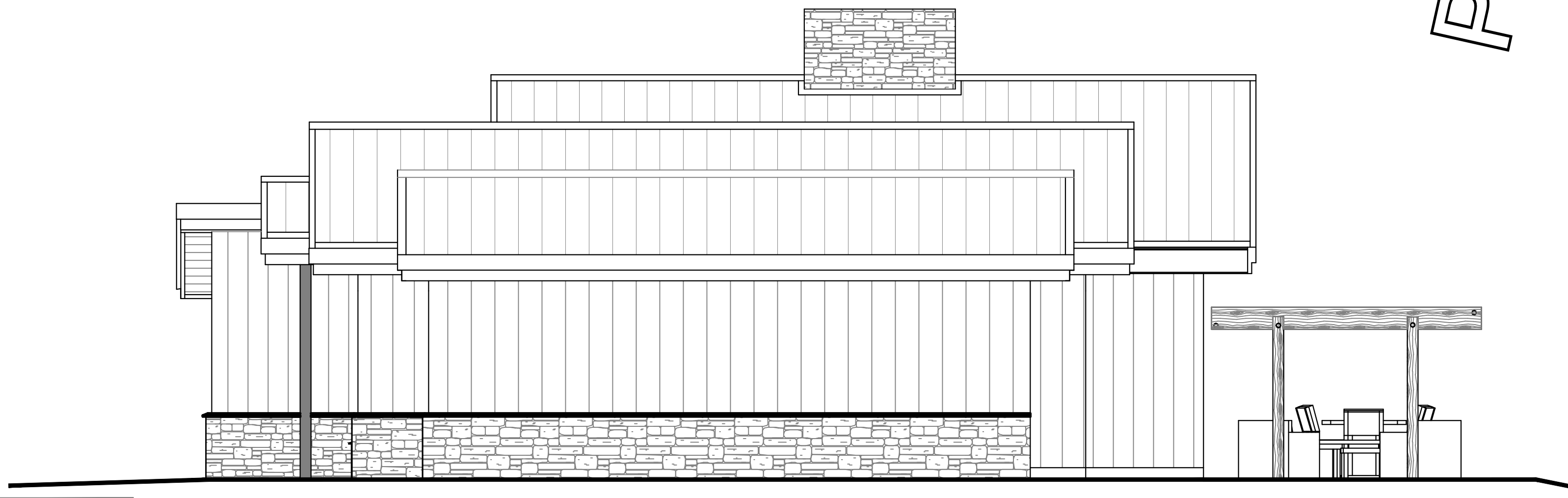
EXTERIOR FINISH LEGEND	
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	DARK CHARCOAL GRAY STANDING SEAM METAL ROOF
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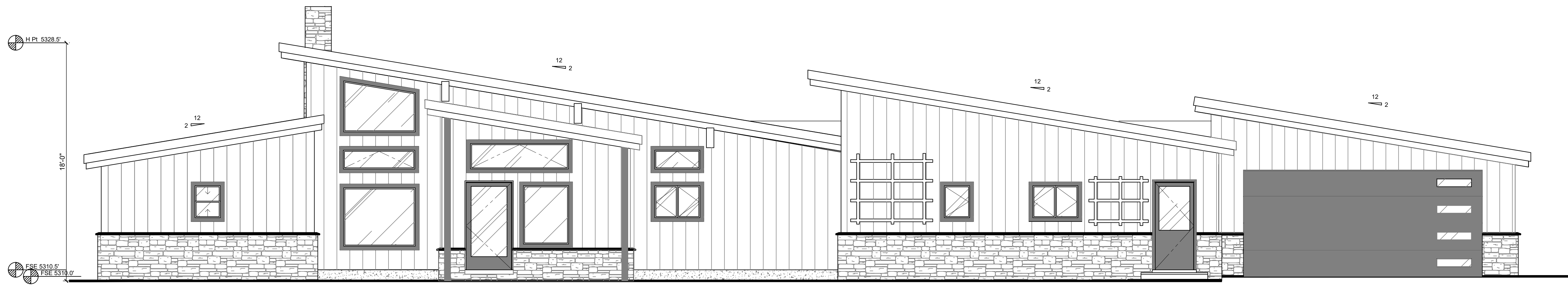
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LEFT SIDE ELEVATION (West)
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION (East)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (South)
SCALE: 1/4" = 1'-0"

6-2-26
Preliminary

Project:
Warren Twinning
OWNER: Dan Warren & Michele Twinning
Tahoe Vista, CA 96148

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Plans prepared by:
K.B. Anderson, Proprietor

Floor Plan Legend	
	EXISTING WALL
	EXISTING WALL REMOVED
	NEW WALL
	SECTION LETTER ID SHEET #

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 Tahoe Vista, CA 96148
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 info@lvtvta.com

Project:
Warren Twinning
 OWNER: Dan Warren & Michele Twinning
 Tahoe Vista, CA 96148

KEY #	DATE	BY	FOR
A	N/A	N/A	N/A

APN:
 131-280-014

 JOB SITE:
 4910/0535 Canyon Rm
 Portola CA 96122

 OWNER:
 Dan Warren & Michele Twinning

 CONTACT:
 Ken Anderson
 PO Box 55
 Tahoe Vista, CA 96148
 (530) 546-7715

 DESCRIPTION:
 New single family dwelling with attached garage & detached utility building

JOB _____ 25-027
 DATE December 2025
 DRAWN KBA
 SCALE 1/4" = 1'-0" U.N.O.
 SHEET # _____ OF # _____
 © LTVista Technical Services, 2024
 Plans prepared by:

K.B. Anderson, Proprietor

A3.0

5-28-26
 Preliminary



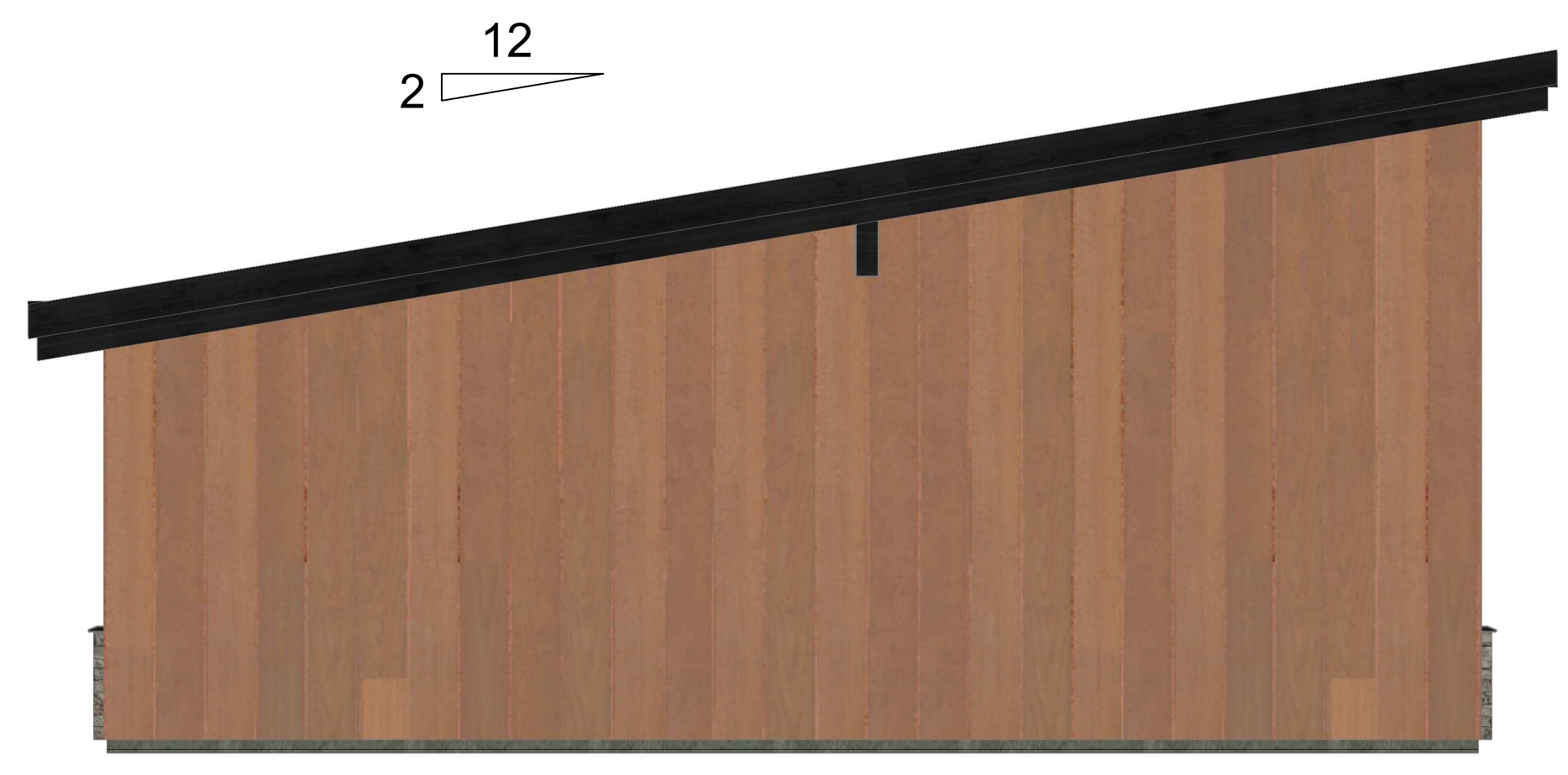
LEFT SIDE ELEVATION (North West)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (South West)
SCALE: 1/4" = 1'-0"

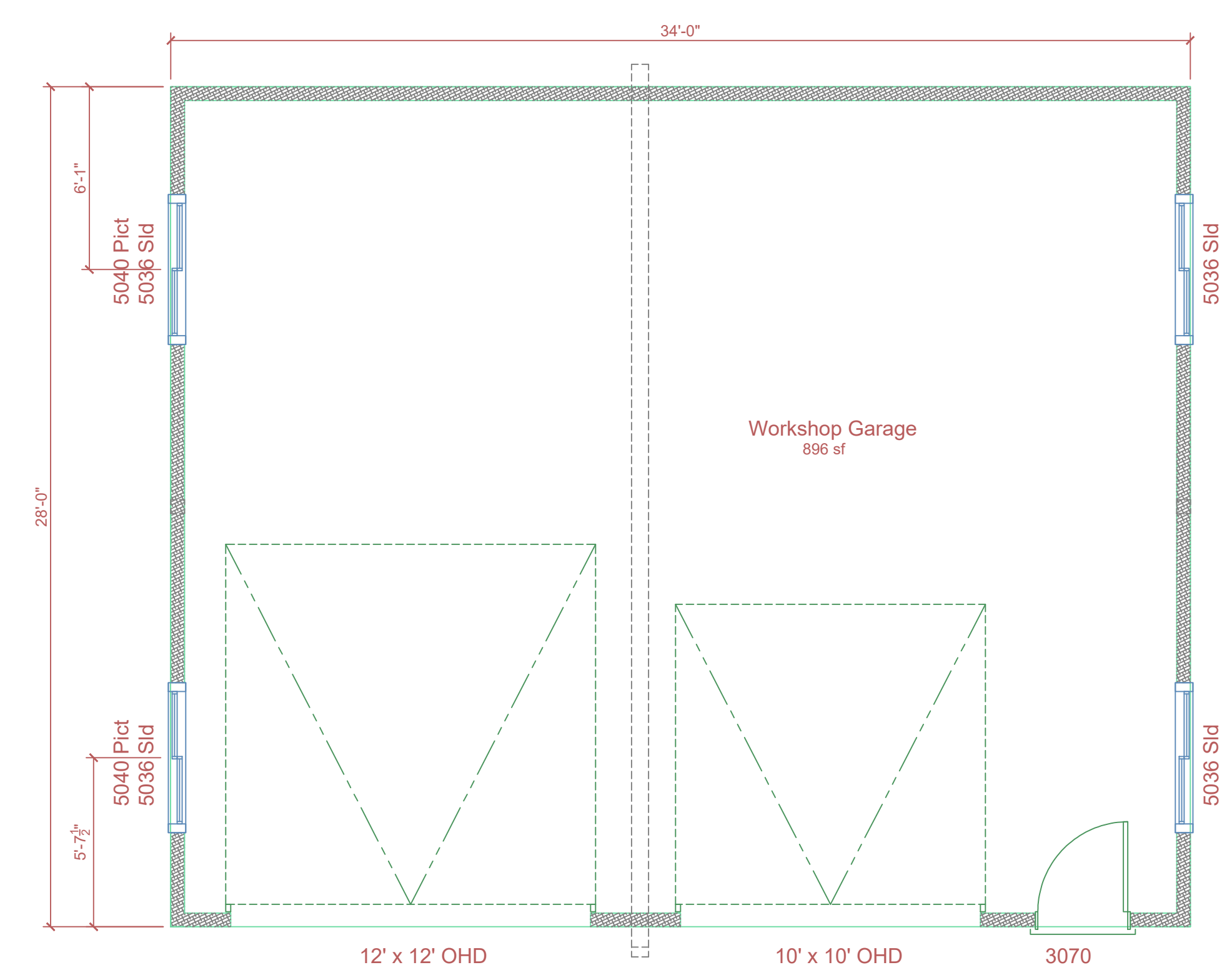


RIGHT SIDE ELEVATION (South East)
SCALE: 1/4" = 1'-0"



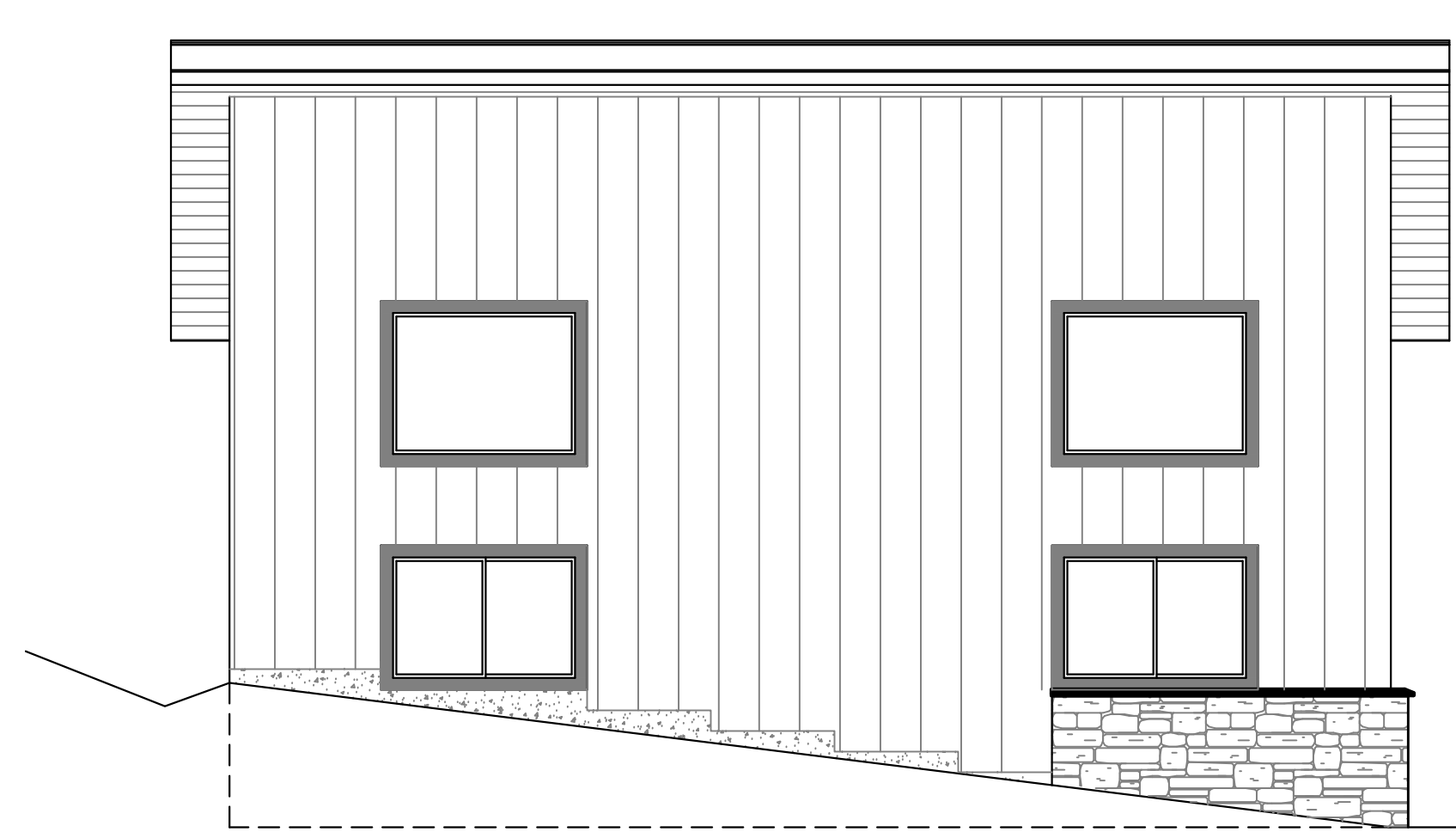
REAR ELEVATION (North East)
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
	DARK CHARCOAL GRAY WINDOWS / DOORS WATERTABLE
	DARK CHARCOAL GRAY STANDING SEAM METAL ROOF
	GLASS
	VERTICAL CEDAR CLEAR HEART NATURAL
	ELDORADO STONE MOUNTAIN LEDGE

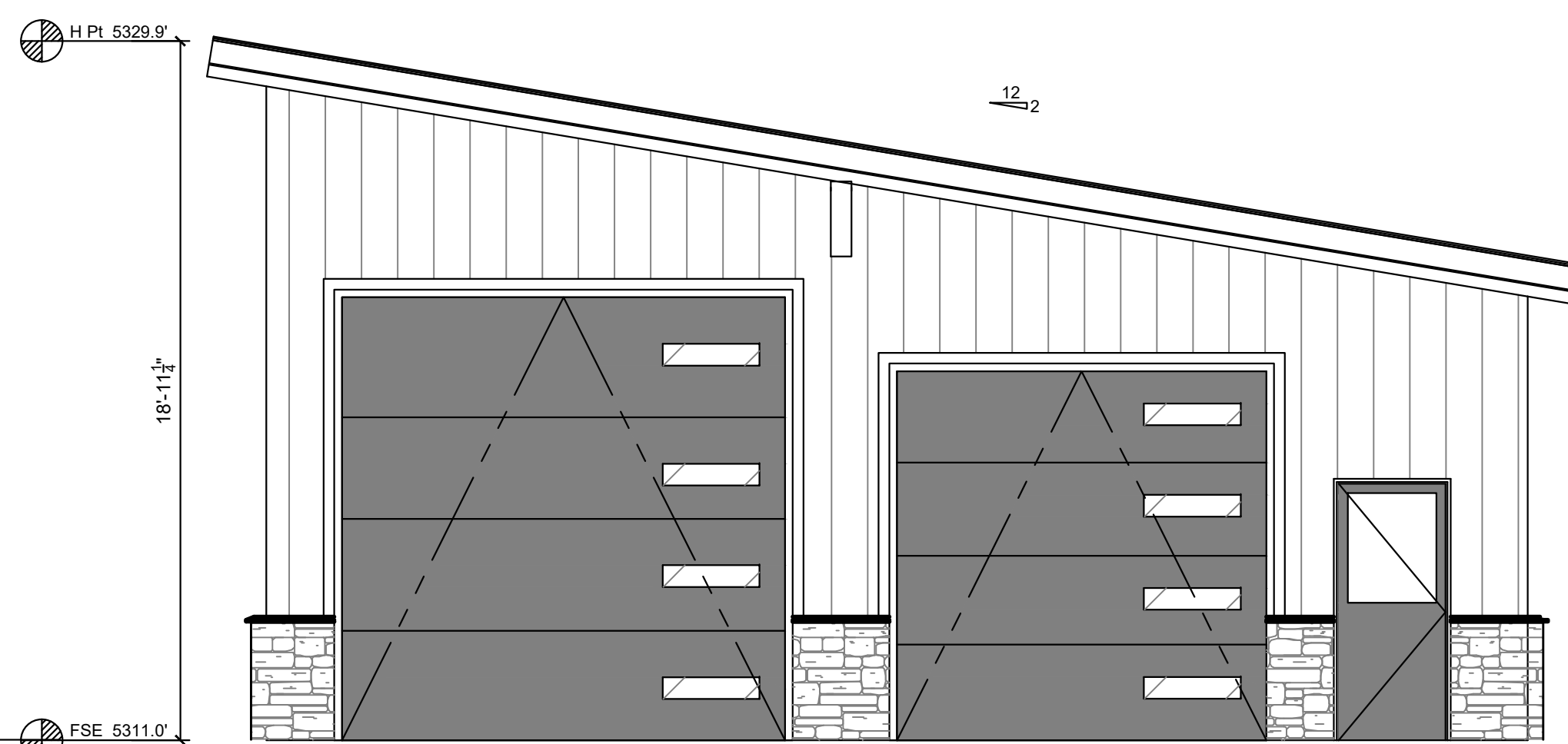


PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

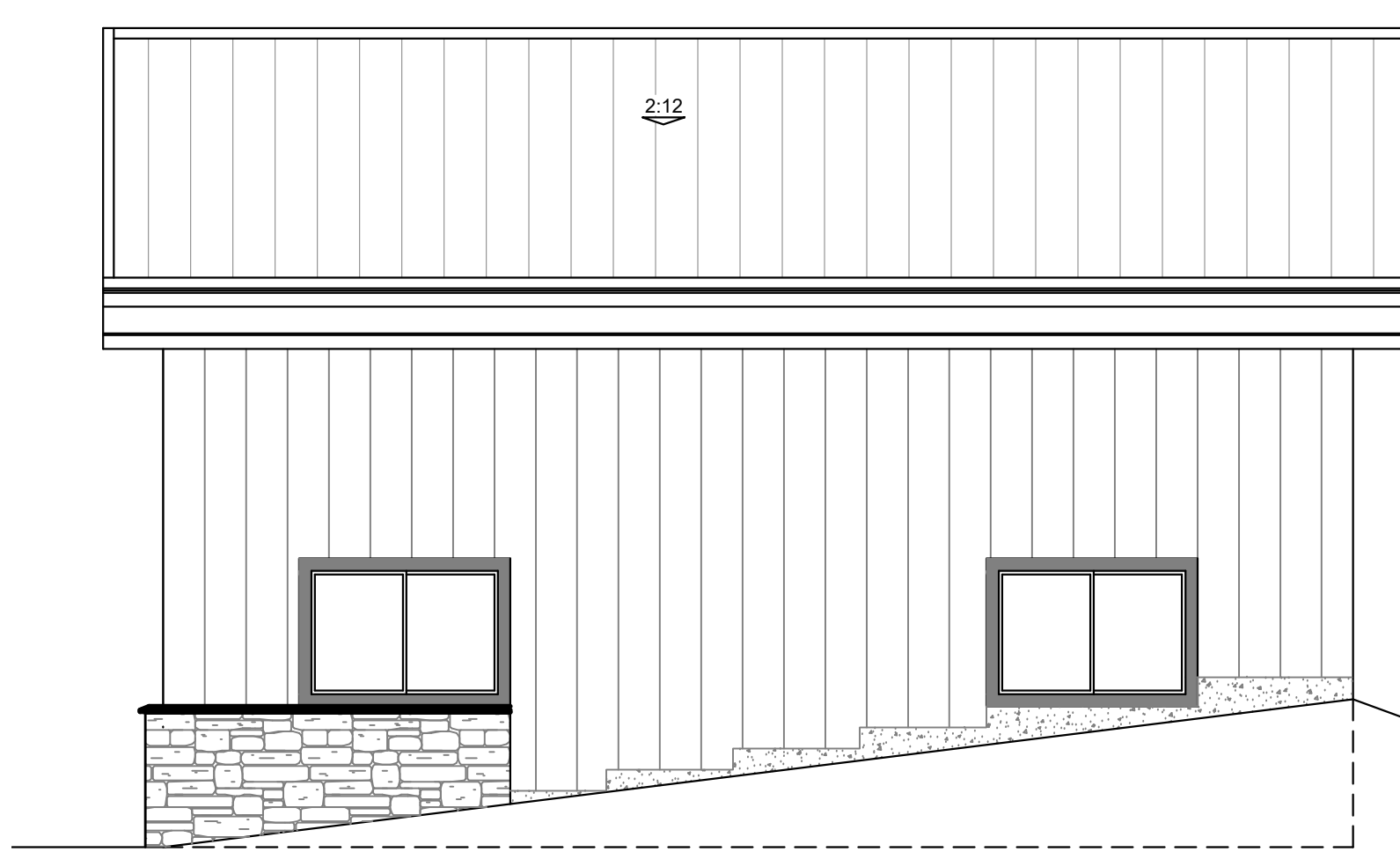
Floor Plan Legend	
	EXISTING WALL
	EXISTING WALL REMOVED
	NEW WALL
	SECTION LETTER ID SHEET #



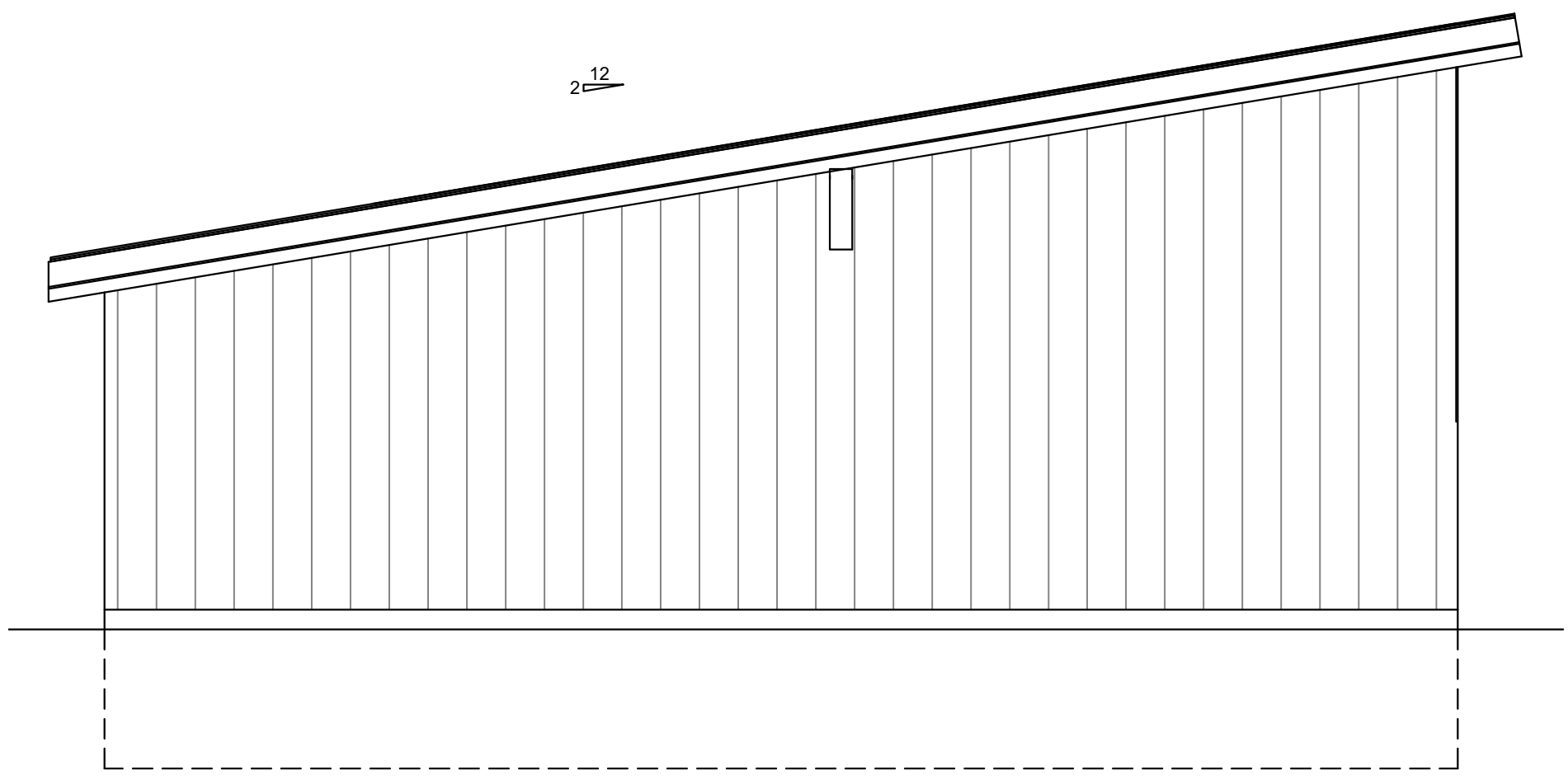
LEFT SIDE ELEVATION (North West)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (South West)
SCALE: 1/4" = 1'-0"

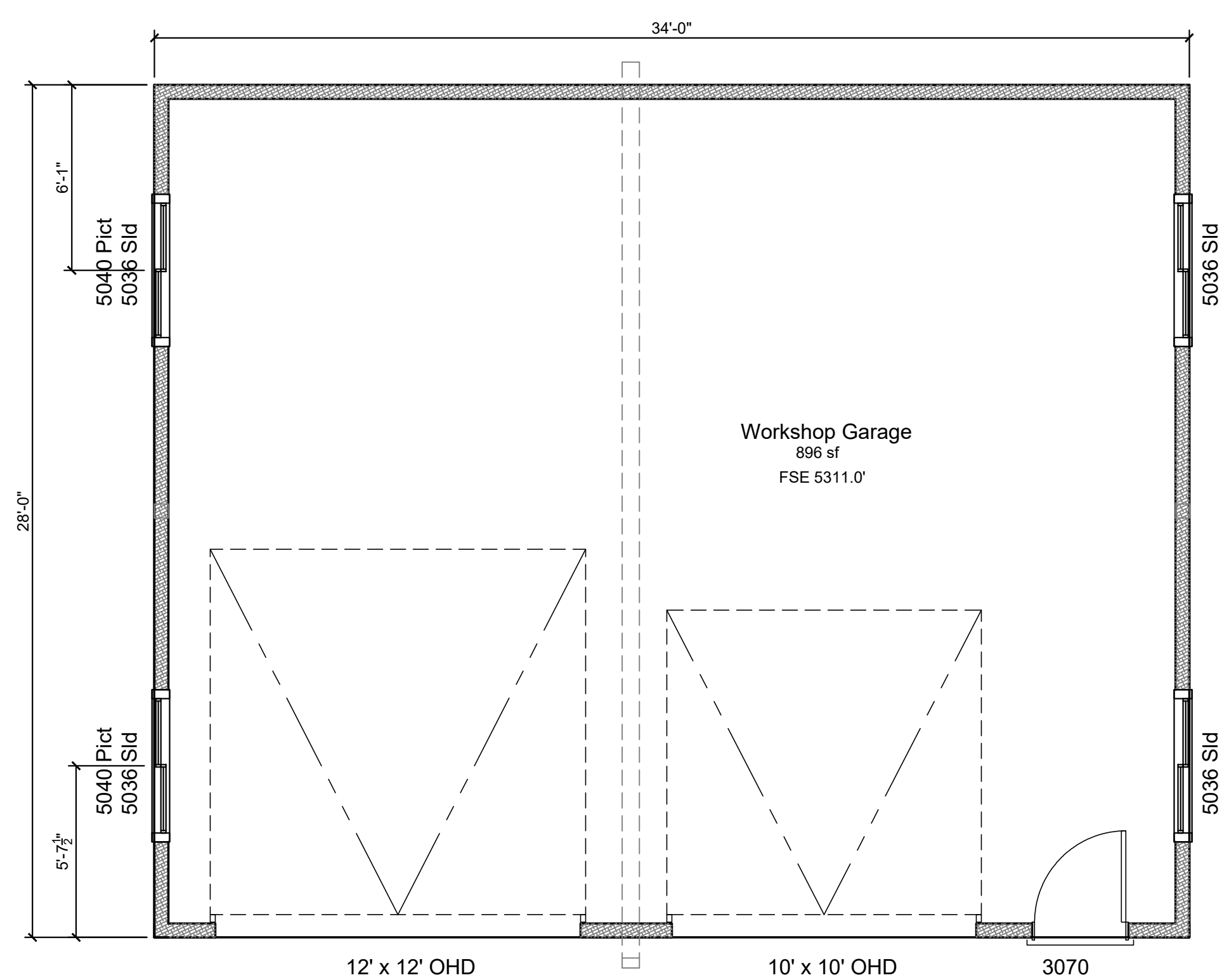


RIGHT SIDE ELEVATION (South East)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (North East)
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
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	ELDORADO STONE MOUNTAIN LEDGE



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

6-2-26
 Preliminary

LTV
 Vista
 Technical Services

K.B. Anderson
 PO Box 55
 Tahoe Vista, CA 96148
 (530) 946-7715
 info@ltvista.com

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 Tahoe Vista, CA 96148

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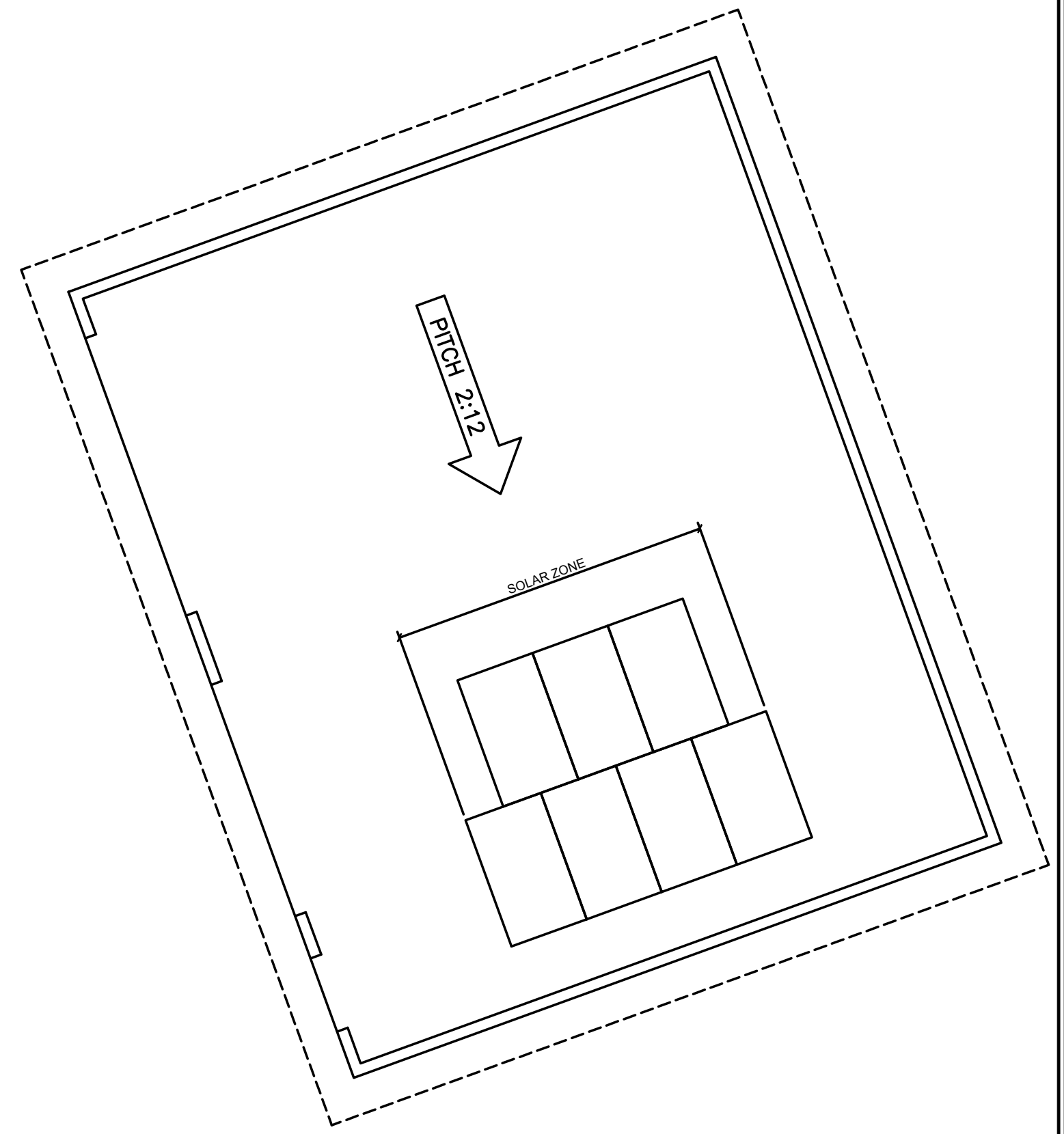
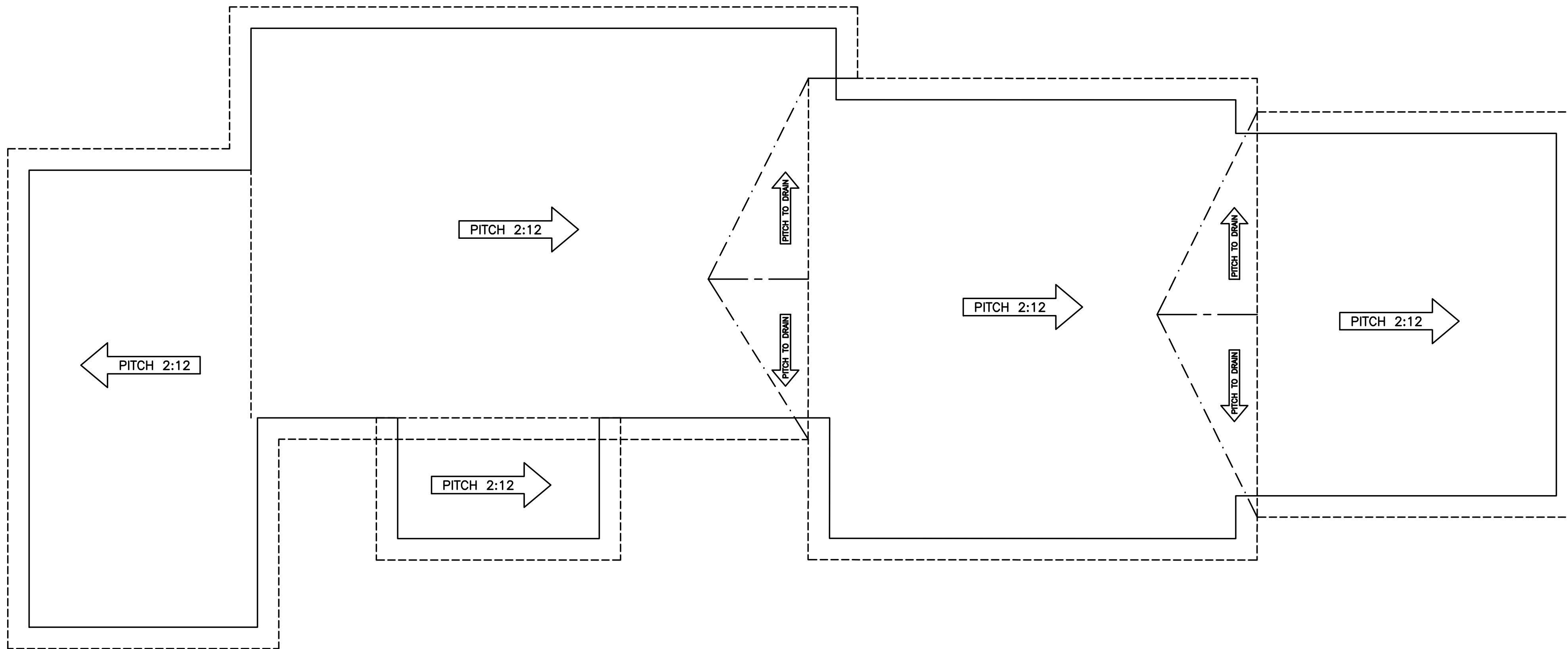
CONTACT:
Ken Anderson
PO Box 55
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DATE December 2025
DRAWN KBA
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Plans prepared by:

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A3.1



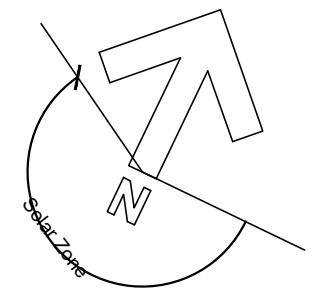
PV Calc

$KW_{pv} = (CFA \times A) / 1000 \times (ND_{weil} \times B)$
 $KW_{pv} = (2475 \times .59) / 1000 \times (1 \times 1.22)$
 $KW_{pv} = 1.48025 \times 1.22$
 $KW_{pv} = 1.781505$
 (7) Panels @ 265 w

Solar Zone Notes

- All solar zones to be located between 90°-300° of true north.
- No obstructions shall be located in solar zone unless north of the solar zone, or meeting the height exception of CBC T24 Part 6 Section 110.10(b)3B.
- Allowable dead loads on Solar Zone = 15 psf.
- See Floor Plans for interconnect routing to mech room.
- See Sheet E1.0 & E1.1 for electrical requirements.

PROPOSED ROOF PLAN & SOLAR ZONE
 SCALE: 3/16" = 1'-0"



6-2-26

HOA Only Vista
 Technical Services
 Ken Anderson
 PO Box 55
 Tahoe Vista, CA 96148
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 info@hvista.com

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E1.3