



NAKOMA COMMUNITY ASSOCIATION  
DESIGN REVIEW COMMITTEE  
PROJECT APPLICATION

PROJECT LOCATION

LOT #	270	ADDRESS	430 Great Spirit
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OWNER

NAME	Forrest Craig and Deborah Newton		
MAILING ADDRESS	55 Marinero Circle # 303		
CITY / STATE / ZIP	Tiburon	CA	94920
EMAIL	chiefsplat@gmail.com deb@debnewton.com	PHONE	415-755-7394

ARCHITECT / DESIGNER

NAME	At Salzano, Architect		
MAILING ADDRESS	5935 Grass Valley Road		
CITY / STATE / ZIP	Reno	NV	89510
EMAIL	ajsalzano@aol.com	PHONE	775-233-1984

CONTRACTOR/ BUILDER

NAME	Wesfab Construction - Wesley Boyd		
MAILING ADDRESS	P.O. Box 1315		
CITY / STATE / ZIP	Portola	CA	96122
EMAIL	wesfab1@att.net	PHONE	530-592-8315

PROJECT INFORMATION

PROJECT TYPE	New Residence		
SQ. FT (CONDITIONED)	2,593	SQ. FT (UNCONDITIONED)	566

As Applicant, either as Owner or Owner's Agent, I have read and understand the NAKOMA COMMUNITY ASSOCIATION CC&R's and the DESIGN REVIEW GUIDLEINES dated January 6<sup>th</sup>, 2021, concerning design and construction at Gold Mountain.

SIGNATURE Forrest M. Craig DATE 12-10-23  
 FOREST M. CRAIG  
 PRINT NAME \_\_\_\_\_

**general notes:**

1. ALL CONSTRUCTION SHALL MEET THE CURRENT REQUIREMENTS OF THE C.R.C., PLUMAS COUNTY BUILDING & PLANNING DEPARTMENTS & ANY APPLICABLE C.C.R.'S WITHIN THIS DEVELOPMENT.
2. FIELD VERIFY EXISTING SITE GRADES AND CONDITIONS.
3. FIELD VERIFY ALL UTILITY LOCATIONS - CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES & REQUIREMENTS.
4. ALL PREFABRICATED PRODUCTS SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.

1-10-24

REVISIONS:

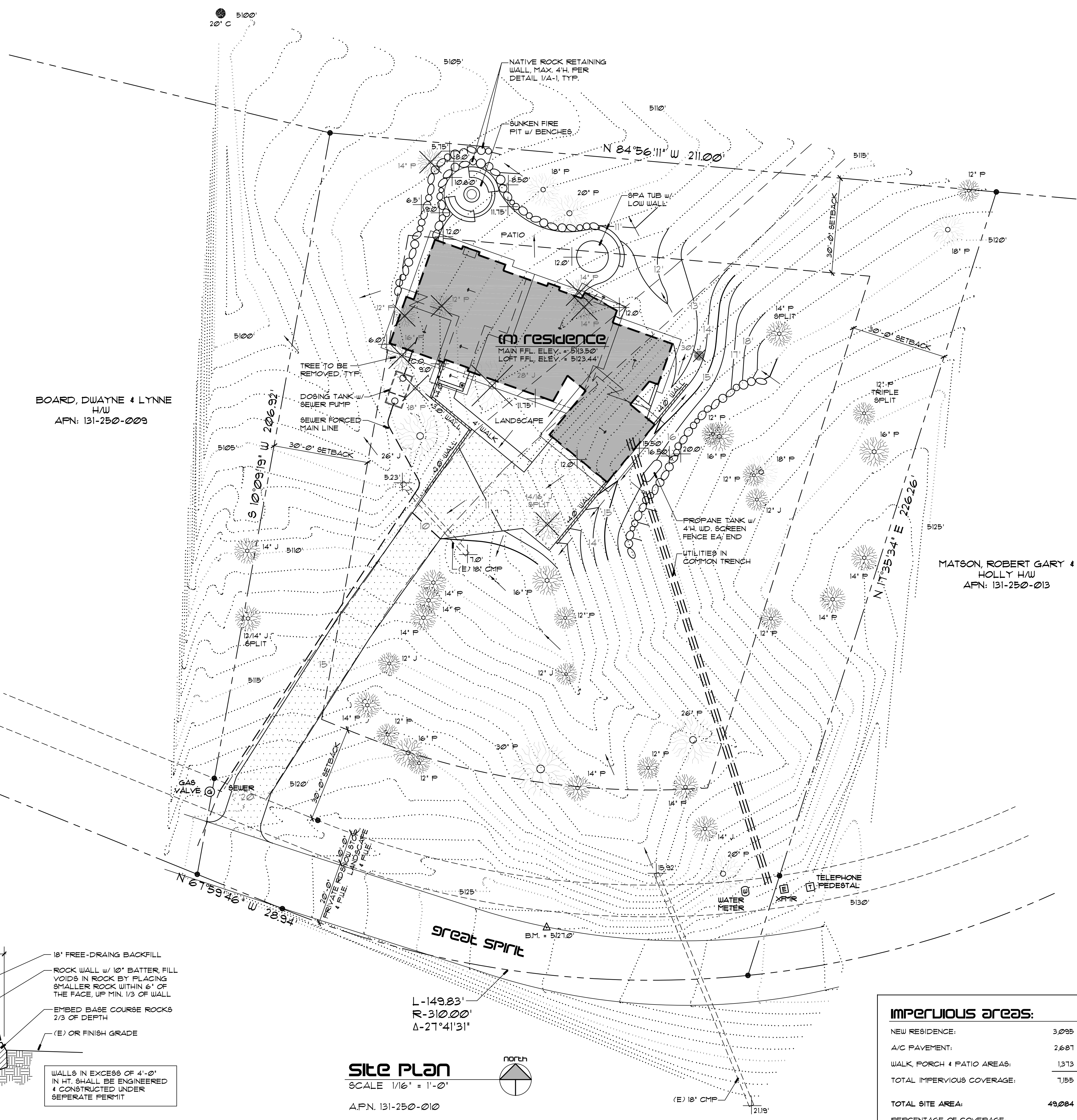
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**site legend:**

- EXISTING CONTOURS
- FINISH CONTOURS
- FINISH GRADES
- BUILDING ENVELOPE LINES
- DRAINAGE SLOPE - 2% MIN.

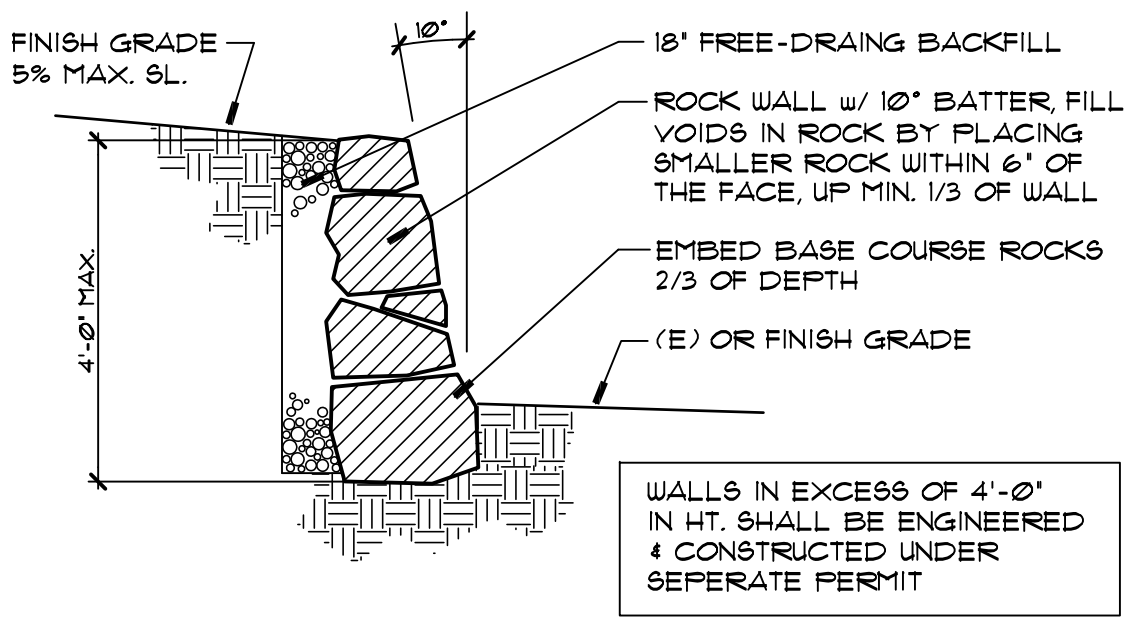
**site notes:**

1. SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION AND PRIOR TO SETTING ANY CONC. FORMS. SOIL'S ENGINEER RECOMMENDATIONS CONCERNING FOOTING SIZE, DEPTH, COMPACTION, ETC. SHALL BE FOLLOWED.
2. ALL WALKS, DRIVES AND PATIOS NOTED ON SITE PLAN SHALL BE 4" CONC. WITH FIBER MESH OVER 6" TYPE-II BASE COMPACTED TO 95%.
3. CARE SHALL BE TAKEN THAT ALL VEGETATION IN UNDEVELOPED AREAS IS PROTECTED DURING CONSTRUCTION. ALL VEHICLES & MATERIAL STORAGE SHALL BE RESTRICTED TO DRIVE AREA.
4. RETAIN ALL STONES FROM EXCAVATION. LARGER BOULDERS SHALL BE PLACED RANDOMLY IN PLANTER AREAS.
5. GRADE SITE TO DRAIN 5% MIN. FOR 10'-0" AWAY FROM RESIDENCE.
6. IF ROCK RIP-RAP IS USED IT SHALL BE GRADED FROM 3/4" TO D SIZE, MIN. 4" DEPTH & PLACED AS A MIXED AGGREGATE



BOARD, DWAYNE & LYNNE  
H/W  
APN: 131-250-009

MATSON, ROBERT GARY &  
HOLLY H/W  
APN: 131-250-013



**1 ROCK WALL DETAIL**  
NO SCALE

**SITE PLAN**  
SCALE 1/16" = 1'-0"  
A.P.N. 131-250-010  
LOT #210-8, R.M. 109

**IMPERVIOUS AREAS:**

NEW RESIDENCE:	3,095 SQ.FT.
A/C PAVEMENT:	2,681 SQ.FT.
WALK, PORCH & PATIO AREAS:	1,373 SQ.FT.
TOTAL IMPERVIOUS COVERAGE:	7,155 SQ.FT.
TOTAL SITE AREA:	49,064 SQ.FT.
PERCENTAGE OF COVERAGE:	14.6%
TOTAL NON-IMPERVIOUS COVERAGE:	41,929 SQ.FT.

**DRAWING INDEX**

A-1	SITE PLAN, DRAWING INDEX
C0	TOPOGRAPHIC SURVEY
A-2	FOUNDATION PLAN
A-3	FLOOR PLAN
A-4	LOFT PLAN
A-5	ROOF PLAN
A-6	EXTERIOR ELEVATIONS
A-7	EXTERIOR ELEVATIONS
SD1	STRUCTURAL NOTES & SCHEDULES
SD2	STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS
ME-1	MECHANICAL/ELECTRICAL PLAN

**new residence**  
FORREST CRAIG & DEBORAH NEWTON  
480 GREAT SPIRIT - NAKOMA LOT #270-8  
PLUMAS COUNTY, CALIFORNIA

POI:

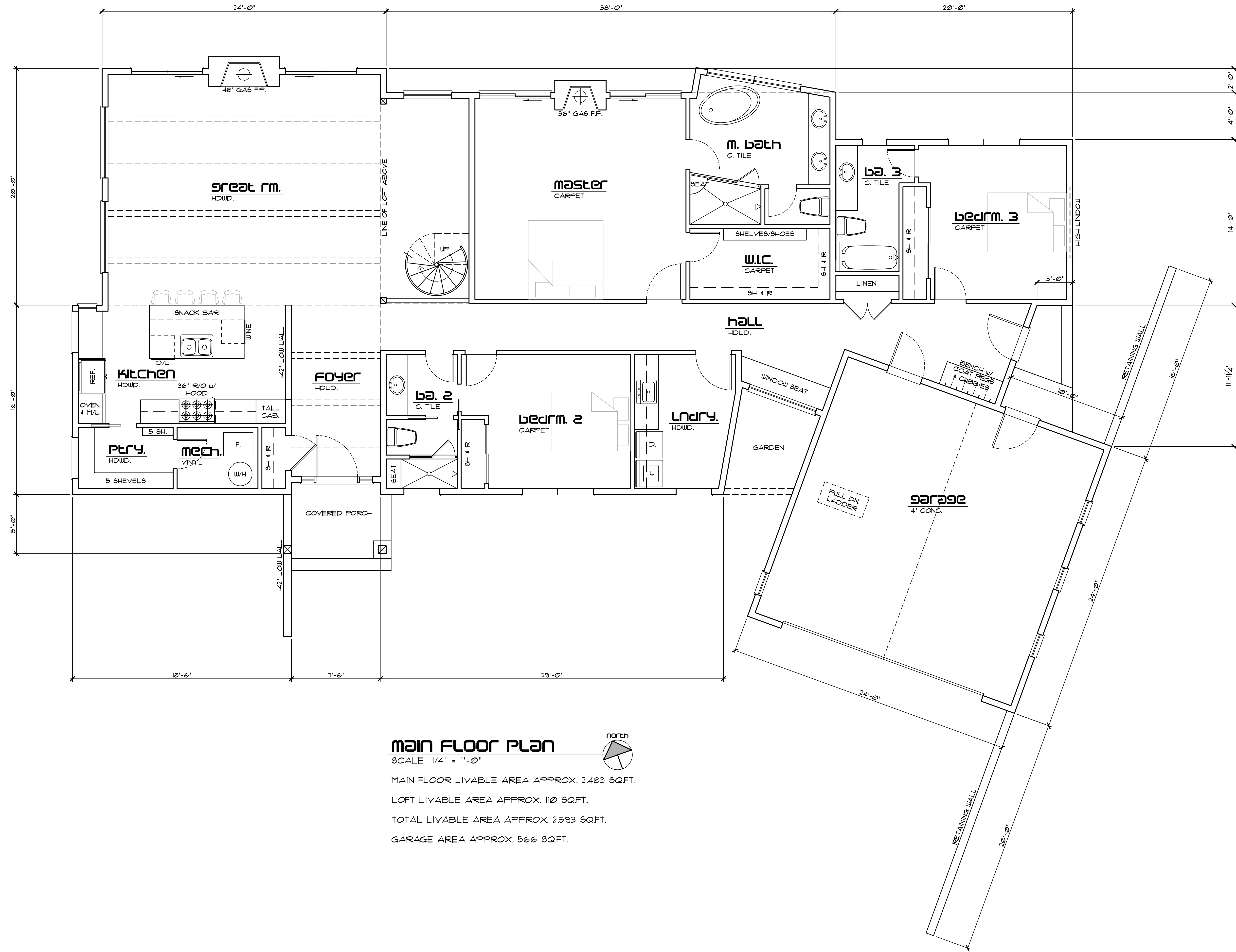
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DRAWING TITLE:  
SITE PLAN

JOB NO:  
2355

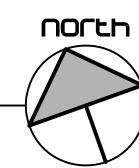






**MAIN FLOOR PLAN**

SCALE 1/4" = 1'-0"



MAIN FLOOR LIVABLE AREA APPROX. 2,423 SQ.FT.

LOFT LIVABLE AREA APPROX. 110 SQ.FT.

TOTAL LIVABLE AREA APPROX. 2,533 SQ.FT.

GARAGE AREA APPROX. 566 SQ.FT.

1-10-24

REVISIONS:

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**new residence**

FORREST CRAIG & DEBORAH NEWTON  
 480 GREAT SPIRIT - NAKOMA LOT #270-B  
 PLUMAS COUNTY, CALIFORNIA

POI:

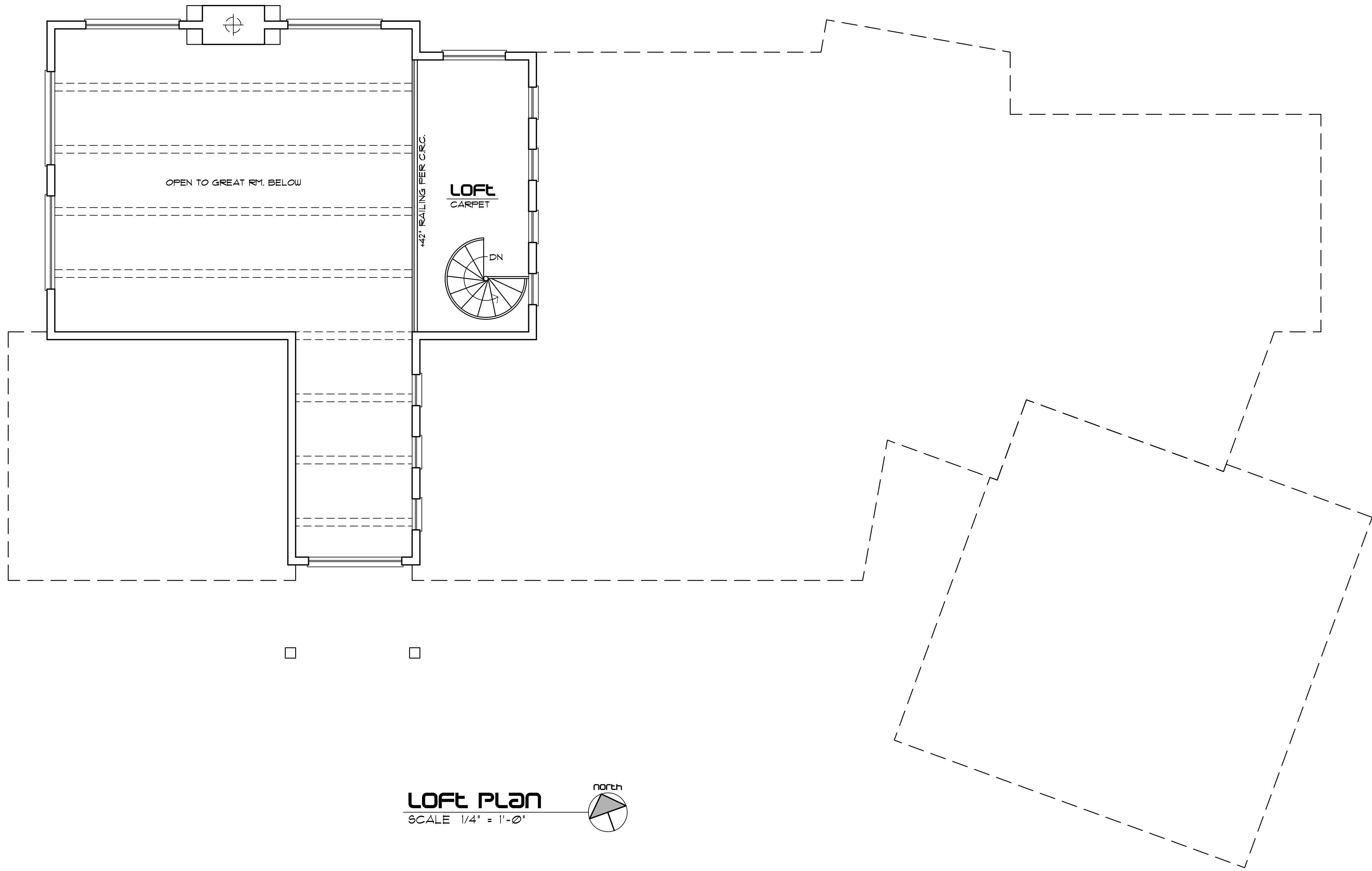
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DRAWING TITLE:

FLOOR PLAN

JOB NO.:

2355

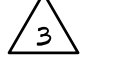


**LOFT PLAN**  
SCALE 1/4" = 1'-0"



1-10-24

REVISIONS:



**new residence**  
FORREST CRAIG & DEBORAH NEWTON  
480 GREAT SPIRIT - NAKOMA LOT #270-8  
PLUMAS COUNTY, CALIFORNIA

POI:

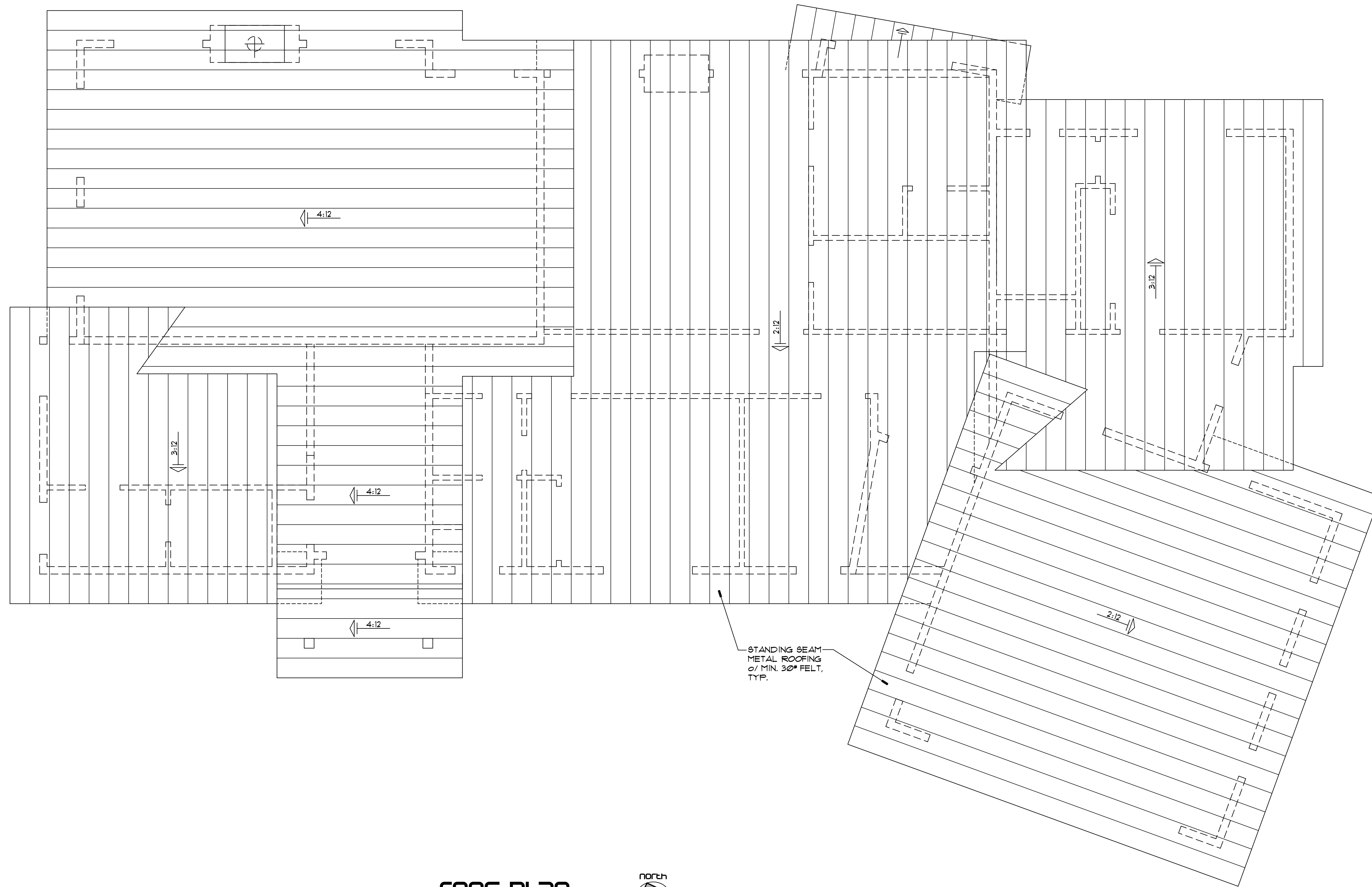
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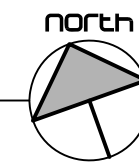
LOFT PLAN

JOB NO.:

2355



**ROOF PLAN**  
SCALE 1/4" = 1'-0"



1-10-24

REVISIONS:

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**new residence**

FORREST CRAIG & DEBORAH NEWTON  
480 GREAT SPIRIT - NAKOMA LOT #270-B  
PLUMAS COUNTY, CALIFORNIA

POI:

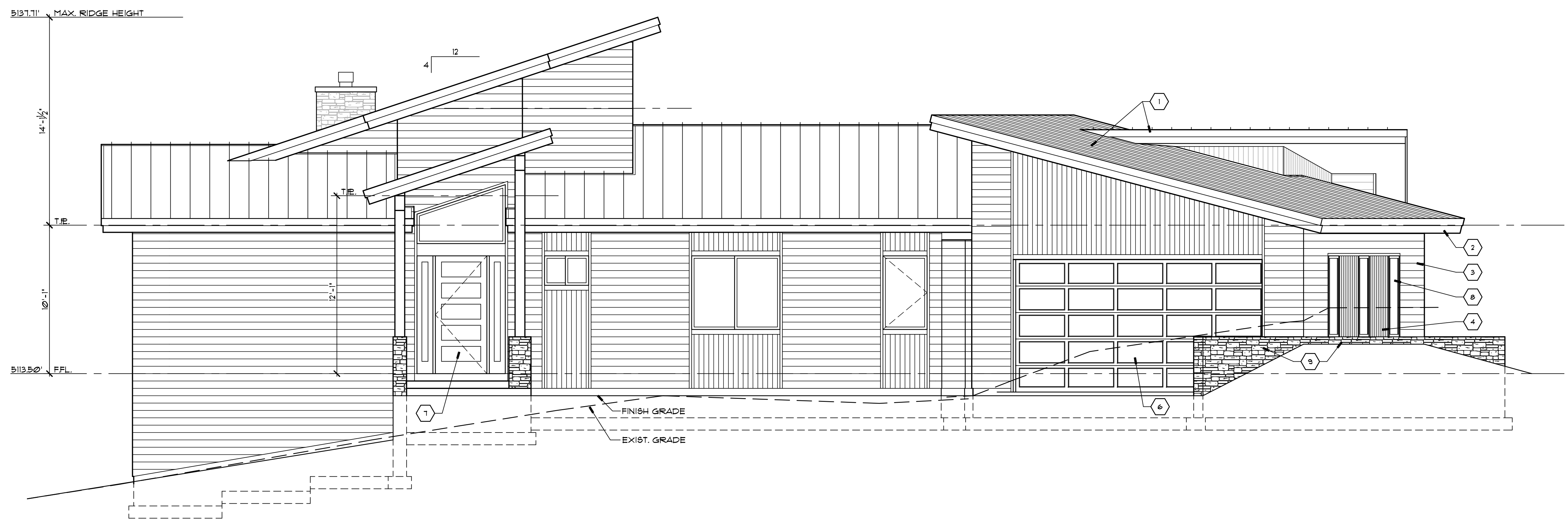
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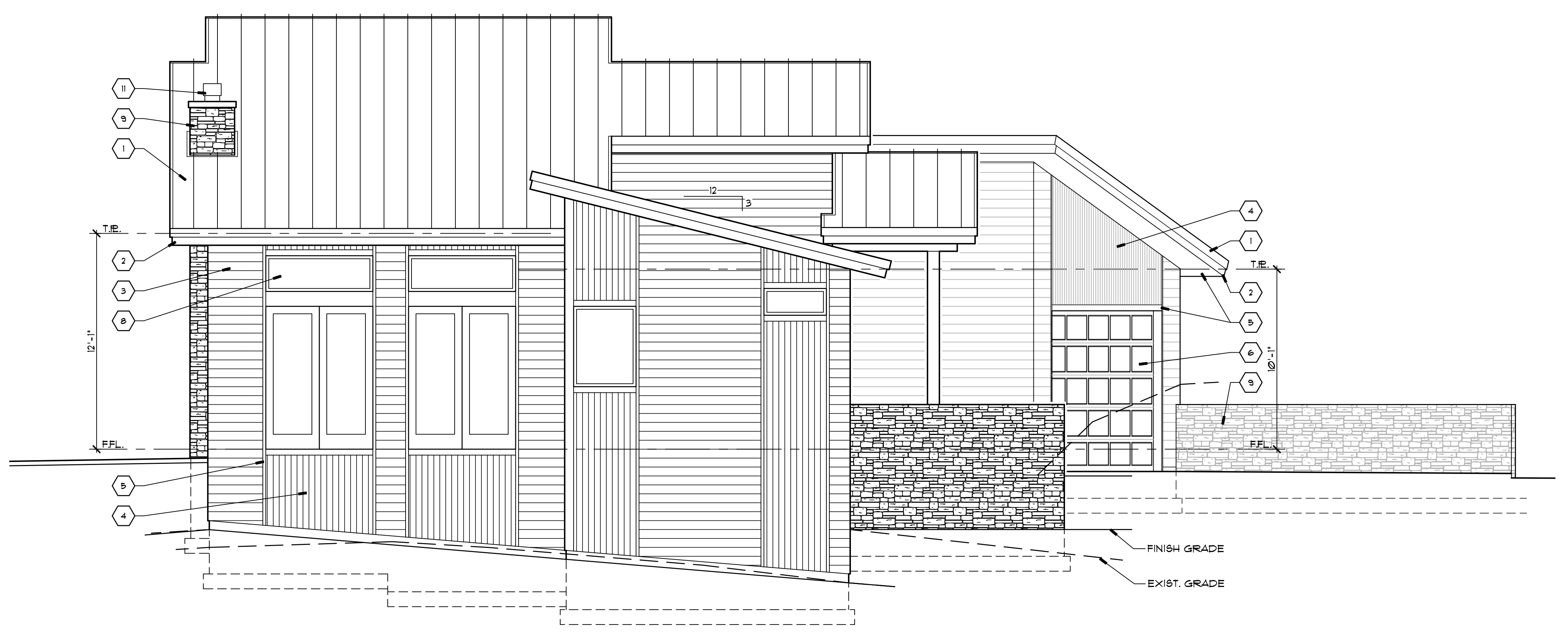
ROOF PLAN

JOB NO.:

2355



**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE 1/4" = 1'-0"

- ELEVATION NOTES & EXTERIOR COLORS:**
- ① METAL ROOFING & FLASHING:  
'MBCI' SLIMLINE PANEL (STANDING SEAM)  
COLOR: TRUE BLACK
  - ② WOOD FASCIA:  
'SHERWIN-WILLIAMS' FLAT ACRYLIC PAINT  
COLOR: MATCH 'NAVAJO BEIGE'
  - ③ HORIZONTAL SIDING (9' EXPOSURE):  
'JAMES HARDIE' ARTISAN SHIFLAP SIDING  
COLOR: NAVAJO BEIGE
  - ④ VERTICAL SIDING (4' EXPOSURE):  
'JAMES HARDIE' ARTISAN SHIFLAP SIDING  
COLOR: NAVAJO BEIGE
  - ⑤ TRIMS & SOFFITS:  
'JAMES HARDIE' HARDIETRIM & HARDIESOFFIT  
COLOR: NAVAJO BEIGE
  - ⑥ G.I. GARAGE DOORS:  
'CLOPAY' AVANTE GLASS & ALUM.  
COLOR: DARK BRONZE
  - ⑦ ENTRY DOORS:  
5-PANEL FRENCH DOOR  
COLOR: PAINT TO MATCH 'DARK BRONZE'
  - ⑧ WINDOWS:  
'ANDERSON' 100 SERIES  
COLOR: BRONZE
  - ⑨ STONE VENEER:  
'GLACIER STONE' THIN VENEER  
COLOR: ROCKY MOUNTAIN GOLD
  - ⑩ G.I. DECORATIVE CHIMNEY CAP:  
COLOR: PAINT TO MATCH ROOF
  - ⑪ VENTS, FLASHING & FLUES:  
COLOR: PAINT TO MATCH ROOF

- 1-10-24
- REVISIONS:
- ①
  - ②
  - ③
  - ④

**new residence**  
FORREST CRAIG & DEBORAH NEWTON  
480 GREAT SPIRIT - NAKOMA LOT #270-B  
PLUMAS COUNTY, CALIFORNIA

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DRAWING TITLE:

**EXTERIOR ELEVATIONS**

JOB NO. 2355

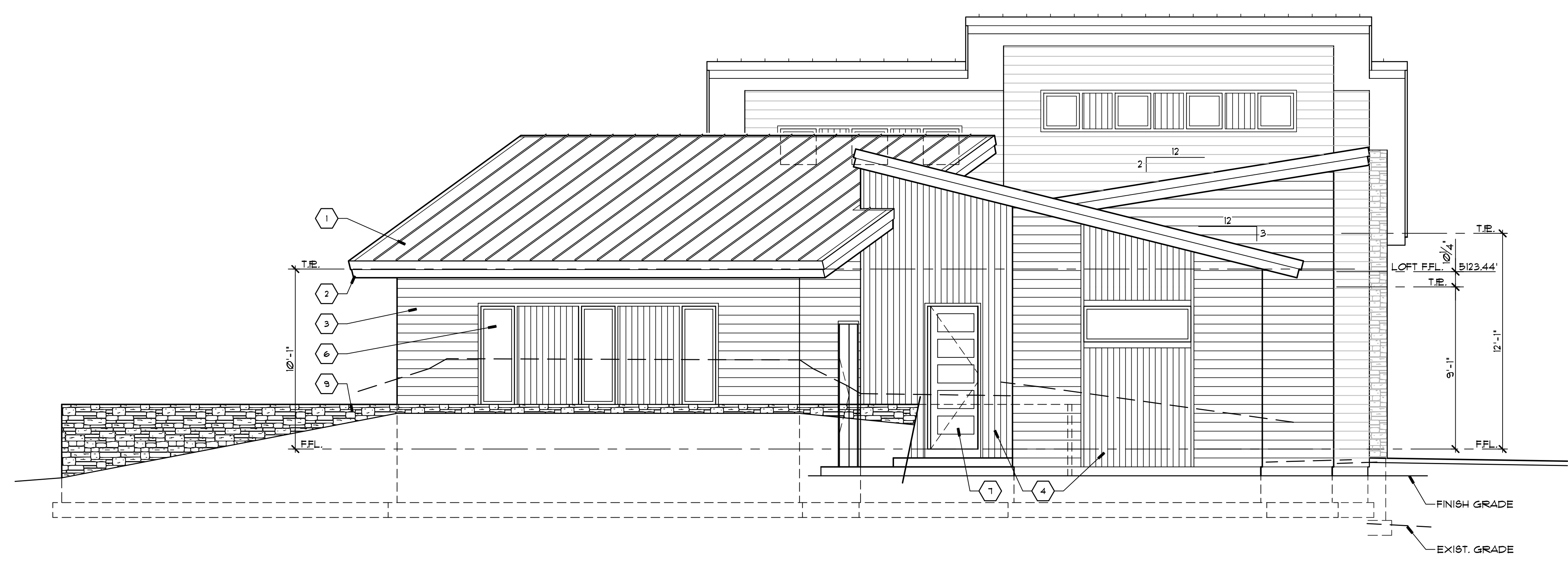
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**North elevation**  
 SCALE 1/4" = 1'-0"



**East elevation**  
 SCALE 1/4" = 1'-0"

- ELEVATION NOTES & EXTERIOR COLORS:**
- 1 METAL ROOFING & FLASHING:  
 'MBCI' SLIMLINE PANEL (STANDING SEAM)  
 COLOR: TRUE BLACK
  - 2 WOOD FASCIA:  
 'SHERWIN-WILLIAMS' FLAT ACRYLIC PAINT  
 COLOR: MATCH 'NAVAJO BEIGE'
  - 3 HORIZONTAL SIDING (9' EXPOSURE):  
 'JAMES HARDIE' ARTISAN SHIFLAP SIDING  
 COLOR: NAVAJ0 BEIGE
  - 4 VERTICAL SIDING (4' EXPOSURE):  
 'JAMES HARDIE' ARTISAN SHIFLAP SIDING  
 COLOR: NAVAJ0 BEIGE
  - 5 TRIMS & SOFFITS:  
 'JAMES HARDIE' HARDIETRIM & HARDIESOFFIT  
 COLOR: NAVAJ0 BEIGE
  - 6 O.H. GARAGE DOORS:  
 'CLOPAY' AVANTE GLASS & ALUM.  
 COLOR: DARK BRONZE
  - 7 ENTRY DOORS:  
 5-PANEL FRENCH DOOR  
 COLOR: PAINT TO MATCH 'DARK BRONZE'
  - 8 WINDOWS:  
 'ANDERSON' 100 SERIES  
 COLOR: BRONZE
  - 9 STONE VENEER:  
 'GLACIER STONE' THIN VENEER  
 COLOR: ROCKY MOUNTAIN GOLD
  - 10 G.I. DECORATIVE CHIMNEY CAP:  
 COLOR: PAINT TO MATCH ROOF
  - 11 VENTS, FLASHING & FLUES:  
 COLOR: PAINT TO MATCH ROOF

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DRAWING CODE:

EXTERIOR ELEVATIONS

JOB NO.:

2355























