

NAKOMA COMMUNITY

DESIGN REVIEW GUIDELINES

Adopted January 6, 2021

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# **Design Review Guidelines**

Adopted 01-06-2021  
NAKOMA HOMEOWNERS ASSOCIATION

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## **PREFACE FROM THE HOA PRESIDENT**

*When Nature has work to be done, she creates a genius to do it*  
-Ralph Waldo Emerson

Welcome to the community of Nakoma, formerly known as Gold Mountain, a unique treasure of a resort community in Northern California's Lost Sierra. Nakoma is unlike most developments, which are all too often purely speculative subdivisions imposed upon the land without consideration for the land itself and governed by a doctrinaire architectural rubric that is imposed upon the homesite owner. Our community consists of residents who have fallen deeply in love with our beautiful corner of the world and have come here to appreciate it and in some way become a part of it. Their homes are built expressions of their appreciation and reflect their individual characters and culture, as well as some commonly held values that create an architectural synergy that makes this development a community.

These values include:

1. **Harmony:** Foremost among nature's lessons is harmony. Biology, even at its less-romantic moments, is an unending story of mutual accommodation and balance. The built environment should seek to emulate that character in its relation to the landscape, its visual impact on its neighbors and in its pure pragmatic ability to create a safe and enjoyable living space for its residents.
2. **Integrity:** Homes in Nakoma are well-built with forms that do not seek to hide the structures or the functions within. They feature the use of real materials, like wood, steel concrete and stone and as such will gracefully weather both the elements and the vicissitudes of style.
3. **Community:** Nakoma is at its heart a community of like-minded individuals. The design and placement of our homes reflects our respect for our neighbors.
4. **Individuality:** Homes ought to be as unique as their owners. As such, homesite owners will be always be allowed to, and even expected to make their homes truly one-of-a-kind.
5. **Responsibility:** While it is commonplace for future homeowners to put a lot of thought into their own needs and desires when designing and building their home, it is essential that they put some thought into all that is affected by any built structure. We recognize that with any custom-building endeavor comes the need for consideration for our community, our environment and posterity.

Sincerely,

---

Dan Gallagher  
2020 President  
Nakoma Home Owners Association

## **OVERVIEW**

These Design Guidelines have been declared pursuant to Section 4.08, Book 688, page 458 of the Master Declaration of Covenants, Conditions and Restrictions of Gold Mountain/Nakoma (the "Declaration"), recorded on August 23, 1996, as instrument No. 05855, Official Records of Plumas County, California, and as thereafter amended from time to time.

The Design Guidelines are administered by the Gold Mountain/ Nakoma Design Review DRC ("DRC") in accordance with the Declaration and the procedures herein set forth. The DRC is an appointed committee of the Homeowners Association and serves under the direction of the board. These Guidelines are binding upon all owners who construct, refinish, or alter any improvement upon a homesite or make any change in the natural surface drainage or plant life thereof. Homesite owners must adhere to the most current Design Guidelines and amendments or receive an approved variance from the DRC.

The Design Guidelines will be amended from time to time and it is the responsibility of each owner to obtain and review a copy of the most recently revised Design Guidelines.

The purpose of the DRC is to review the plans from the perspective of how the project will blend into the surroundings and complement the community. The DRC will leave non-aesthetic issues, such as code compliance and utility items to the other review agencies involved in approval of the project. The DRC is also tasked with assisting the Building Team in keeping disruption to the neighbors and environment to a minimum. The DRC has authority to grant variances to these guidelines; however, does not have authority to grant variances to CC&R provisions. The most relevant of provisions are included as courtesy in this document in bold italics for reference.

In reviewing proposed Improvements for approval, the DRC will consider at least the following:

- (a) Whether the proposed Improvement conforms to the purposes and provisions of the Governing Documents;
- (b) Whether the proposed Improvement is of a quality of workmanship and materials comparable to other Improvements that are proposed or existing in the Development;
- (c) Whether the proposed Improvement is of a design and character which is harmonious with proposed or existing Improvements and with the natural topography in the immediate vicinity; and
- (d) Whether the proposed Improvement will unreasonably interfere with, or otherwise impair the use and enjoyment of the surrounding property owners.

## ***INTRODUCTION***

### **1.1 Intended Use**

These guidelines are intended to assist the homeowner formulate a complete, well thought out set of construction plans. They are not intended to act as a barrier to new home construction. They are intended to assure a satisfactory project for both the homeowner and the community.

### **1.2 Objective**

The objective of these guidelines is to provide assistance for homesite owners and their design teams, to design a home that meets or exceeds the standards set forth by the Gold Mountain/ Nakoma Association. This is done by creating a set of procedures contained herein.

These guidelines are intended for construction only. No DRC approval is needed for the following:

- (a) Normal maintenance of exempt or previously approved Improvements;
- (b) Repair or rebuilding of an exempt or previously approved Improvement;
- (c) Changes to the interior of an exempt or previously approved Structure; and
- (d) Work reasonably required to be performed in an emergency for the purpose of protecting any person or property from damage.



## **REVIEW AND APPROVAL PROCESS**

### **2.1 Overview**

The design review process was developed to provide adequate checkpoints along the way in an effort to minimize time and money spent on nonconforming designs. The comprehensive design review process has been established to assist owners in the planning and designing of their residence. The homesite owner is responsible for obtaining formal written approval from the DRC, the Plumas County Building Department, the Gold Mountain Community Service Department ("CSD") and other agencies having jurisdiction. These approvals must be obtained before any improvements or alterations are made to the homesite.

It is recommended that an owner retain professional architectural and engineering services. A successful design team will have thorough analysis and understanding of the particular homesite, the owner's special needs and the skill to translate this into building form, as well as the ability to convey to the DRC the concept and design of a proposed residence or other improvements.

The DRC will conduct reviews of projects during their regular meetings or at such other times as are appropriate. The DRC must respond in writing to the applicant no later than thirty (30) business days after a submittal has been reviewed by the DRC per Article 9.6 of The CC&R's. Any denial of a request for approval shall include an explanation of why the request for approval was denied, the proposed remedy, and a description of the procedure to appeal for Board review of the denial. Any response in reference to issues contained in the DRC's notice must be addressed to the DRC in writing. Homeowners may request to meet with the DRC to discuss the review of submittals.

In general, the design review process is divided into five steps, the Pre-Design Meeting, Preliminary Submittal, Plan Submittal, Construction Phase and Final Inspection.

### **PRE-DESIGN MEETING**

#### **2.2 Pre-Design Meeting**

It is strongly recommended that the homesite owner, and/or their design team meet on site with the DRC to review the submission process prior to preparing any drawings for a proposed residence or improvement. Together we can explore and resolve any questions regarding process requirements and residence placement. Preliminary drawings may be discussed at this time.

### **PRELIMINARY SUBMITTAL**

#### **2.3 The Preliminary Submittal**

Preliminary drawings, including all of the exhibits outlined below, shall be submitted to the DRC. Preliminary Submittals should be submitted at least five (5) business days in advance of a regularly scheduled meeting. Dates of regularly scheduled DRC meetings are available from the DRC Association office.

Preliminary Submittals should include:

- (a) A completed Application form and a check covering the non-refundable design review fee as specified on the application form. Check should be made out to Gold Mountain/ Nakoma Homeowners Association in the amount of \$1,000.00. One thousand dollars.

- (b) A topographical survey, preferably drawn at a scale no less than 1"=20', prepared by a land surveyor registered in the state of California, showing homesite boundaries and dimensions, easements, buffers, setbacks, centerline of adjacent streets, utility tap locations and existing surface contours at two foot intervals. It should also show the major terrain features such as washes, trees with a diameter greater than 6 inches as measured three (3) feet from the ground, boulders and bedrock outcroppings. Trees to be removed must be noted.
- (c) A Site Plan, preferably drawn at a scale no less than 1"=20' drawn, showing the location of the residence and all other buildings or major structures, driveway, centerline of adjacent streets, parking areas, patios, pools, walls, proposed utility service facilities and routes, site grading including existing and proposed contours and topographic features such as drainage channels, rock outcroppings and existing trees and major shrubs to be retained or to be relocated, and elevations of all building floors, patios, and terraces, shown in relation to site contour elevations.
- (d) Roof Plan and Floor Plans drawn at a scale of no less than 1/8"-1' 0". Roof plans should show areas and heights of flat and sloped roofs, location of crickets, and locations and heights of all roof mounted equipment including skylights. Floor plans shall show elevations for each floor level change.
- (e) Exterior Elevations in color of all sides of the residence, at the same scale as the floor plans, identifying all structure, parapet and roof ridge heights; delineating both existing and proposed grade lines; and designating all exterior materials. Color selections may be general and not specific for the Preliminary Submittal.
- (f) The Preliminary Submittal shall include PDF files of the drawings required in (b), (c), (d), and (e) above, and a PDF of items (a), (b), (c), (d), and (e) above. Emailed to the address on the application. This information will be public information.
- (g) Any other drawings, materials, or samples requested by the DRC or necessary to explain the design. All accessory improvements, e.g. propane enclosures, storage sheds, dog houses contemplated on the homesite must be shown on the Preliminary Submittal. To assist the DRC in its evaluation of the Preliminary Submittal, the owner shall provide preliminary staking of the locations of the corners of the residence or major improvements deemed by the DRC to be major and at such other locations as the DRC may request.

#### **2.4 Notice of Preliminary Submittal**

Within three (3) business days after the submission of a complete Preliminary Submittal, the Committee will mail notice to all owners of contiguous lots informing them that drawings have been submitted for new construction. Those drawings will be available for review, online, by other owners during the period stated in the notice. Notice to owners will be sent via first class mail through the US Postal Service to the mailing address listed with the office of the Association used for the mailing of Association account statements. Owners wishing to discuss a submittal may set up an appointment with the Design Review Committee. Comments regarding the proposed project should be submitted in writing to the Committee at least two days prior to the scheduled meeting date.

#### **2.5 Preliminary Review**

After the placement of the announcement sign and the staking of the homesite, the Preliminary Submittal will be deemed complete. At its next regularly scheduled meeting, the DRC will review the

submission for conformance to the Guidelines and will provide a response to the applicant within thirty (30) days.

### **FINAL SUBMITTAL**

#### **2.6 Final Submittal**

In order to obtain approval of the project from the Design DRC, the following documents are to be submitted to the DRC. Final Submittals should be made a minimum of one (1) week prior to a regularly scheduled meeting to be reviewed at that meeting. Dates of regularly scheduled DRC meetings are available from the DRC association office.

Final Submittals shall include:

- (a) A completed Application form.
- (b) Email PDF of construction plans for the residence and the following items if not included in the construction documents (engineering drawings are not required for this submission):
  - (1) All data noted in Section 2.3 paragraphs (b), (c), (d), and (e).
  - (2) Building sections as required illustrating the residence and accessory improvements.
  - (3) All utility locations: propane tank, electric meter, transformer and exterior mechanical equipment locations, and geothermal wells.
  - (4) Zones as defined in Section 3
  - (5) Height of the top of all skylights and parapets shown on the roof plan.
  - (6) Locations and type of all exterior lighting fixtures.
- (c) Samples or pictures of all exterior materials and colors, all exterior lighting fixtures with manufacturer's specifications, window and glass specifications, garage door color and concrete color, mounted on an 8-1/2" x 11" heavy stock cardboard identified with manufacturer's names, colors and/or numbers. Sample boards should include the owner's, architect's and builder's name as well as the homesite number. Samples of exterior materials such as stone should be submitted via the use of photographs that show color and coursing patterns. Pictures of all sample boards emailed as PDF's and sample boards mailed to association office.
- (d) Landscape plans can be submitted separately after construction begins. When submitted, a Landscape Plan at the same scale as the Site Plan, or a statement describing re-vegetation of the homesite to its pre-construction condition. Owner may elect to return the site to its natural state in lieu of a landscape plan. Landscape Plans must show the Natural Zone (Section 3.1), Building Zone (Section 3.2), and Private Zone (Section 3.3) and should include:
  - (1) Areas to be irrigated, if any, including location of backflow preventer.
  - (2) Locations and sizes of all existing and proposed plants.
  - (3) Locations of areas to receive re-vegetation.
  - (4) Decorative features such as pools or imported rocks.
  - (5) Specification as to color and size of mineral landscape elements including approximate size of any boulders proposed.
  - (6) A list of all proposed plants including both the common and the botanical plant name and the plant size. The quantity of each type of tree and shrub to be planted should be included. Proposed plants not included on the Approved Plant List (See Appendix B)

must be listed on the Landscape Plan with an asterisk before the plant name. A photograph and description of any non-approved plant must be submitted to be considered for approval.

(7) Location of all exterior landscape lighting, including cut sheets for all fixtures and a list of proposed bulb types and wattage. All exterior lighting is to be down-lit only.

(e) A Construction Schedule indicating approximate milestone dates for:

- (1) *Start of construction*
- (2) *Completion of slab/foundations*
- (3) *Completion of exterior wall surfaces*
- (4) *Completion of landscaping*
- (5) *Completion of Construction*

(f) Please note, the Community Service District (CSD) provides sewer and water service to the project. A “Will Service” letter will be needed from the CSD to submit plans to Plumas County. CSD can be contacted at 530-832-5945 or [goldmtncsd@sbcglobal.net](mailto:goldmtncsd@sbcglobal.net).

## **2.7 Final Submittal Approval**

Upon receipt of the complete Final Submittal, the DRC will review the submittal for conformance to the Guidelines and requested revisions from the DRC. The DRC will provide a written response to the applicant within thirty (30) business days after receipt of the complete package.

An Owner whose application is denied by the DRC may request that the Association’s Board of Directors reconsider their application. DRC If review is conducted by the Board, (i) it shall take place during an open meeting of the Board, (ii) the Board may affirm, reverse or modify the decision in its discretion and in accordance with the provisions of the Governing Documents. The Board will notify the applicant in writing of the Board's decision within fifteen (15) days following the review.

The approved application and plans shall be retained by the DRC for five (5) years.

## **CONSTRUCTION PHASE**

### **2.8 Pre-Construction Approval**

Securing a building permit from the County of Plumas, California is the responsibility of the owner or designated representative. Any substantive changes to the plans required as part of the permit process shall be brought to the attention of the DRC prior to beginning construction.

An on-site pre-construction meeting with the builder and a representative of the DRC is required before construction may begin. The builder’s deposit and the landscape deposit as specified on the application form are to be paid no later than the pre-construction meeting. The contractor shall sign the Contractor Construction Regulations. All trees that were previously approved for removal must be tagged and the construction fence must be in place to identify the building zone (Refer to *Section 3.1*).

### **2.9 Additional Construction and/or Exterior Changes**

All exterior changes require prior approval from the DRC.

## **2.10 Re-submittal of Drawings**

In the event a Preliminary Submittal or a Final Submittal is not approved, any resubmission must follow the same procedure as the original submittal, except that re-submittals of a Preliminary Submittal must be made at least five (5) business days in advance of a regularly scheduled meeting to be reviewed in that meeting.

## **2.11 Commencement and Completion of Construction**

It can be very unsightly to have a stalled and unfinished project. The timing of Commencement and Completion of Construction are addressed by Article nine, paragraphs 8 and 9 of the Association's Covenants and Restrictions. Which reads as follows:

### *9.8 Commencement. Completion of Approved Work.*

*Except for construction of Residences and Structures for which Section 9.9 below applies, upon receipt of the approval of the Committee, the applicant shall proceed to have the work commenced and diligently and continuously pursued to completion in substantial compliance with the approval of the Committee including all conditions imposed therewith. The approval of the Committee shall be effective for a period of one (1) year after the date of the approval subject to the right of the Committee to provide for a shorter or longer period at the time of its approval, or subsequently to extend the period upon a showing of good cause. In the event the approved work is not commenced within the effective period of the approval, the applicant, before commencing any work shall be required to resubmit his/her application for the approval of the Committee.*

*All approved work shall be completed within two (2) years after the date of commencement, or such other reasonable period specified by the Committee at the time of approval, with the period of time subject to extension by the number of days that work is delayed by causes not under the control of the applicant or his/her contractor or as otherwise extended by the Committee. Upon completion of approved work, the applicant shall give written notice thereof to the Committee. If for any reason the Committee fails to notify the applicant of any noncompliance within sixty (60) days after receipt of such notice of completion from the applicant, the improvement shall be deemed to be completed in accordance with such approved plans.*

### *9.9 Completion of Residences and Structures.*

*The work of construction of all approved Residences and Structures shall be prosecuted diligently and continuously from commencement of construction until such Residences and Structures are fully completed and painted. All residences and structures shall be completed as to external appearance, including finish painting, within two (2) years from date of commencement of construction; except, however, when a delay is caused by acts of God, strikes, actual inability of the Owner to procure delivery of necessary materials, or by interference of other persons or forces beyond the control of the Owner. The Committee shall review any construction not completed within the two (2) year period and upon a written request from the Owner may extend the construction period. Fines may be established for any delinquency. For purposes of this Declaration, commencement of construction shall be the date work begins on Lot excavation.*

*In the event a Residence or Structure is not completed as to external appearance, including finish painting, within two (2) years from the date of commencement of construction, such uncompleted Residence or Structure shall conclusively be deemed to be a nuisance, and may be abated and removed by the Association's Board of Directors through appropriate*

*proceedings in any court of competent jurisdiction. The expense incurred in connection with such abatement and removal may become a lien upon the land and any Improvement thereof and such lien may be enforced in such manner as permitted by California law.*

## **2.12 Work in Progress – Observation for Design Conformance**

The DRC may review work in progress and give notice of non-compliance identified. Absence of such review and notification during the construction period does not constitute approval by the DRC of either work in progress or compliance with these Guidelines.

If at any time the DRC determines that work is not being performed or was not performed in compliance with these Guidelines, the DRC may notify the owner in writing of such non-compliance specifying the particulars of non-compliance. A non-compliance hearing may be requested by the DRC at which time getting the project back in compliance will be discussed.

## **FINAL INSPECTION**

### **2.13 Final Construction Review and Approval**

(a) Upon completion of the residence, the homeowner is requested to email the DRC a copy of the certificate of occupancy issued by Plumas County.

(b) Upon notification of completion, the DRC will perform a physical inspection and a night-time lighting inspection to ensure compliance with the lighting policy (see Section 6.9 – Exterior Lighting). Work not done in compliance with the approved Final Submittal, DRC may require appropriate remedy. Remedies may include revision of the design documents to match the improvements and/or construction to bring the improvement into conformance.

(c) If the owner fails to remedy any substantive non-compliance within a reasonable period from the date of the DRC's notice, the DRC shall promptly notify the Associate Board of any disputed, nonconforming items. The Association, at its option, may take action per the governing documents.

If, after receipt of the notice of construction completion from the owner and after review of the residence and/or improvements by the DRC, the DRC finds that all improvements are deemed to be in accordance with the approved Final Submittal, these Guidelines and any stipulations of approval, the DRC shall notify the owner in writing of such Final Construction Approval. If response to the requested is not received from the DRC within 30 days, the project shall be deemed approved.

### **2.14 Residence Improvements, Additions, or Changes**

Any owner proposing to change the exterior color or add or change any improvement to a homesite must receive prior written approval from the DRC. The DRC may charge an owner a fee up to one half of the original fee depending on the scale of the project.

### **2.15 Non-waiver**

The approval by the DRC of any plans, drawings or specifications for any Improvements constructed or proposed, or in connection with any other matter requiring the approval of the DRC shall not be deemed to constitute a waiver of any right to withhold approval of any similar plan, drawing, specification or matter submitted for approval. Where unusual circumstances warrant it, the DRC may grant reasonable variances. Such variances shall be made on a case-by-case basis and shall not serve as precedent for the granting of any other variance.

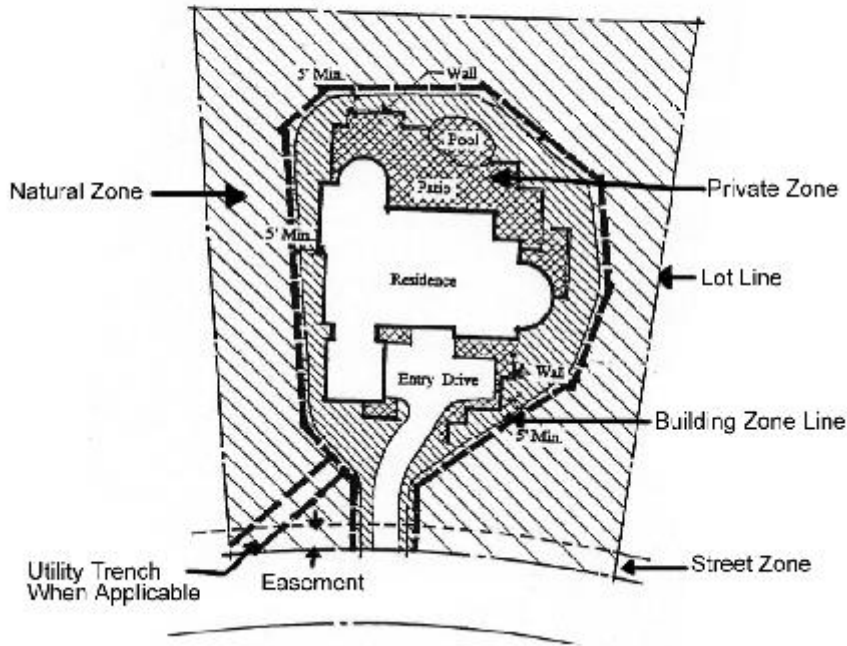
### **2.16 Estoppel Certificate**

Within thirty (30) days after written demand is delivered to the DRC by any Owner or Mortgagee, and upon payment to the DRC of a reasonable fee (as fixed from time to time by resolution of the DRC), the DRC shall execute and deliver in recordable form, if requested, any estoppel certificate executed by any two (2) of its members, certifying, with respect to any Homesite of such Owner or Mortgagee, that as of the date thereof either (a) all improvements made and other work done upon or within such Homesite comply with the requirements of the DRC and this Declaration, or (b) such improvements or work do not so comply, in which event the certificate shall also identify the noncomplying improvements or work and set forth with particularity the basis of such noncompliance. Such statement shall be binding upon the DRC in favor of any person who may rely thereon in good faith.

## PROPERTY DEMARCATION

The lots in Gold Mountain/ Nakoma are configured to allow for the natural landscape to enhance the improvements placed upon them. The lots consist of four or five zones; the building zone, the natural zone, the private zone, the street zone and where applicable, the golf course zone. An example illustrative diagram is provided below.

ILLUSTRATION OF LOT CONFIGURATION  
EXHIBIT A



The zones are defined as follows:

### 3.1 The Building Zone

The Building Zone is the area around the building where all construction activities must be contained. Alterations to the existing landscape may occur in this area. This area must be re-vegetated and must comply with the State of California fire safe regulations for defensible space (which are included in Appendix "D"). The Building Zone will be encompassed by a construction fence placed approximately thirty (30) feet from all proposed structures and installed before the on-site pre-construction meeting based on the natural features of the homesite, homesite boundary lines, drainage and topography. This Building Zone mirrors the fire safe requirements for the "Lean, Clean, Green Area" in defensible space.

### 3.2 Natural Zone

The Natural Zone is that portion of the homesite that extends from a structure or Private Zone to the property line. The Natural Zone may remain a natural landscape or be re-vegetated with plant material selected from the approved plant list. Areas scarred during construction must be re-vegetated or landscaped in such a way as to encourage natural vegetation to grow readily.

Supplemental plant material from the approved plant list may be added in the Natural Zone to enhance the natural appearance. The density and mix of any plant material should approximate the density



and mix found in the general area. If the existing vegetation is primarily skunk cabbage, bitter brush, rabbit brush, or manzanita consideration should be given to selecting other plants because of the fire danger these plants pose. Irrigation of the Natural Zone is permitted for newly planted vegetation and thereafter for maintaining adequate plant moisture to keep plants near the home green and fire resistant.

Please note, a firebreak is necessary in the Natural Zone and is defined by the Gold Mountain/ Nakoma Hazardous Fuel Treatment Program (see Appendix “D”). A firebreak is established by creating a lean, clean, and green zone within a minimum of thirty (30) feet of each building or structure”. Additionally, a reduced fuel zone or defensible space must be maintained in the Natural Zone “from a minimum of 30-100 feet away from the building or structure”. This requires removal of excess ground fuel, thinning thick shrubs and trees, and removing vertical ladder fuels by removing low branches and brush under trees. Houses that do not meet the defensible space guidelines may not be able to be protected in the event of a wildfire.

We recommend the Gold Mountain/ Nakoma Fire Wise Committee be consulted for an appraisal of the property’s fire safe characteristics and how to implement the above guidelines. The fire wise committee can be contacted at 530-832-5945 and [goldmountainhoacsd.org/firewise](http://goldmountainhoacsd.org/firewise).

### **3.3 Private Zone**

The Private Zone is that portion of the homesite which is not visible from homes or presumptive building sites on adjacent lots, streets, open spaces, or public spaces, being screened by natural features, vegetation, walls or structures. The Private Zone is the least restrictive in terms of what plants, shrubs and trees can be planted. The owner may place any plant material in the Private Zone. Plants growing above wall heights which can be seen by adjacent homes are to be selected from the approved plant list.

### **3.4 Street Zone**

The Street Zone is the easement along the roadway and may be used for snow storage during winter months. Re-vegetation and supplemental planting may be needed to create an attractive streetscape adjacent to the roadways. Re-vegetation of the Street Zone must be made from the approved plant list, to return it to its natural condition after construction.

### **3.5 Golf Course Lots**

Golf frontage lots always have inherent risks from errant golf balls. The DRC recommends that during the site planning of a homesite adjacent to the golf course, consideration be given to the possibility of errant golf balls, particularly with the orientation of windows or other breakable surfaces of the residences. Lots adjacent to the golf course cannot use netting, screens, excessive landscaping, fences or large blank walls for protective devices. Evaluation of the proper siting, orientation, massing and setbacks should provide for maximum golf and view orientation with minimal adverse impact from the play of golf. Design consideration should also be given to noise and other effects generated by golfers, golf carts, and golf maintenance.

## **SITE DEVELOPMENT GUIDELINES**

The natural topography, vegetation and environment at Gold Mountain/ Nakoma are unique and require special design attention for site development. Each homesite has distinctive features of topography, slope, views, drainage, vegetation, boulders and access that need to be analyzed in the design process. The DRC stresses the importance of integrated site and residence design so that homes respond to the natural characteristics of each specific homesite. It is important to realize that designs that may work on one homesite may not on another. The following Site Development Guidelines address the issues of siting, grading, excavation and landscaping.

### **4.1 Site Work**

When preparing a preliminary site plan, consideration should be given to the impact of the proposed residence on adjacent lots with respect to their privacy, view preservation, natural drainage, and ease of access. The following general limitations will apply:

- (a) No change in natural or existing drainage patterns for surface waters shall be made upon any homesite that could adversely affect another homesite, common area or open space. Surface water draining onto adjoining lots shall do so only by established natural patterns and not so changed as to lead to off-site erosion.
- (b) Natural drainage ways must not be obstructed. Improvements should be sited to avoid major natural drainage ways. Bridging of drainage ways, so as not to obstruct 100-year storm flows, are encouraged with the design adding architectural character.
- (c) Retaining walls and other walls not directly supporting a building structure should not typically exceed eight (8) feet in height, measured vertically from the lowest finished grade adjacent to the wall along the exterior side of the enclosure at the point of measurement. An overall height of up to fourteen (14) feet may be achieved by use of more than one retaining wall, provided a minimum planting area of ten (10) feet is provided between the two walls. Other acceptable methods for softening the appearance of retaining walls over eight (8) feet in height include: landscaping with mature, indigenous trees or large shrubs; and/or utilizing a different texture and/or material for a portion of the wall. Building elevations and sections are to show the extent of cut and fill procedures.
- (d) Screen walls, walls not supporting a building structure or retaining earth, may not exceed five (5) feet, six (6) inches in height measured from finished grade along the exterior side of the enclosure in the manner described above for retaining walls.

### **4.2 Site Drainage and Grading**

Site drainage and grading must be done with minimum disruption to the homesite. Structures, roads, driveways and any other improvement should be designed to fit the existing contours of the site, minimizing excavation rather than altering the site to fit the designed structure or improvement.

Designers should carefully evaluate the erosion potential of the site drainage based upon the degree and direction of the slope, soil type and vegetation covers. Minimizing soil erosion in disturbed areas through the use of native rock and plant materials is strongly encouraged. Any change in drainage way will require contour grading and mature landscaping to return the drainage way to a natural appearance.

No grading may be done outside the Building Zone unless such grading is proven to be the only means of providing necessary flood protection.

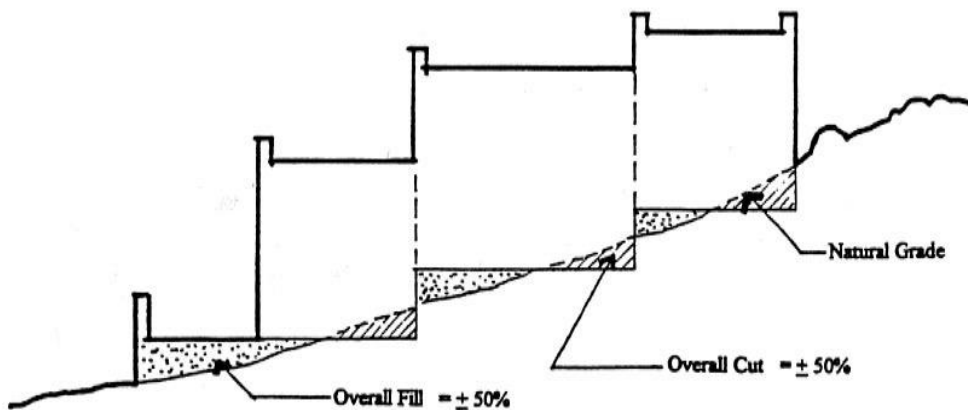
If corrugated culverts are used, the exposed culvert must be painted a natural earth tone. The termination of culverts, including the use of headwalls, must result in a well-designed termination with finished edges. Rough, bent or chipped ends of culverts must not be exposed.

### 4.3 Cut and Fill

It is the intent of these Guidelines to discourage excessive cut and fill. Wherever possible, significant cut and fill conditions should be contained within retaining walls or within the improvements as to avoid cut and fill slopes from being exposed. Cut and fill conditions will also vary depending on whether the residence and other improvements are on a single level or terraced multi-levels to fit with the topography. Cut and fill conditions are evaluated based on conditions directly under the footprint of the residence, as well as for the overall site improvements, patios and driveways. Therefore, the following guidelines address the general cut and fill situations. Evaluation of a proposed residence will be based on conformance with these cut and fill guidelines. The DRC may allow exceptions, on a case-by-case basis, to the technical cut and fill guidelines when the objectives and intent of these Guidelines are still met.

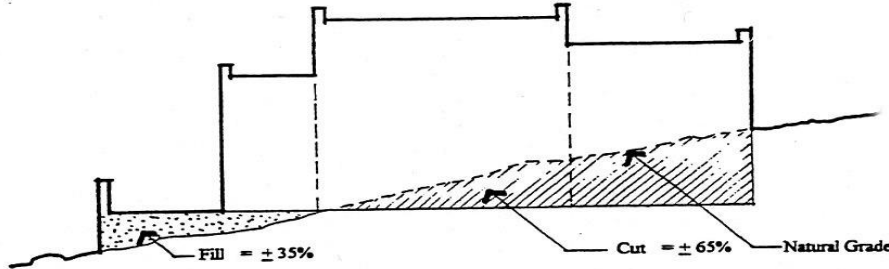
#### (a) *Sloping Site Terraced Floor Levels*

In cases where the building zone slopes generally in one direction and the residence and improvements are on multiple floor levels that step down with the terrain, the cut and fill conditions shall generally be as shown.



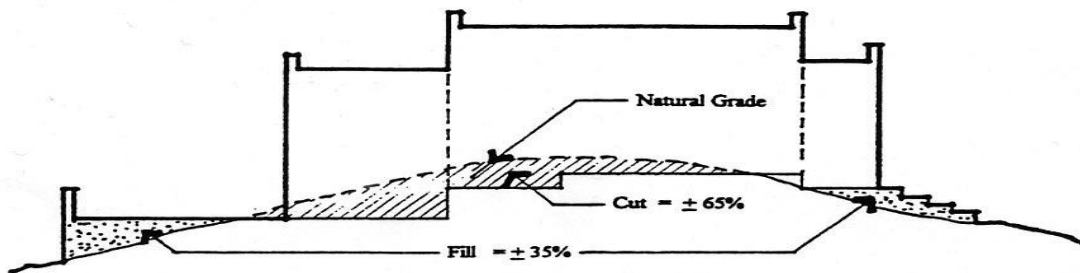
**(b) Sloping Site - Single Floor Level**

In cases where the building zone slopes generally in one direction and the residence and improvements are primarily on a single floor level, the cut and fill conditions shall generally be as shown.



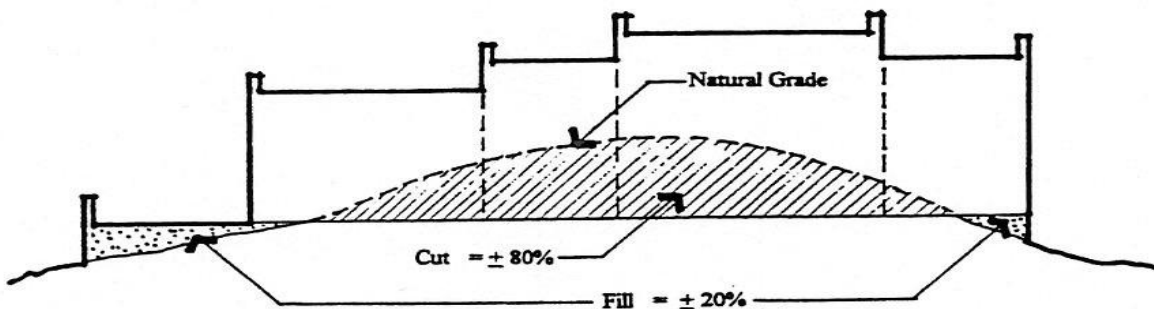
**(c) Ridge or Knoll - Terraced Floor Level**

In cases where the building zone is generally located on a ridge, knoll, or other high point and the residence and improvements are on multiple floor levels that step down with the terrain, the cut and fill conditions shall generally be as shown.



**(d) Ridge or Knoll - Single Floor Level**

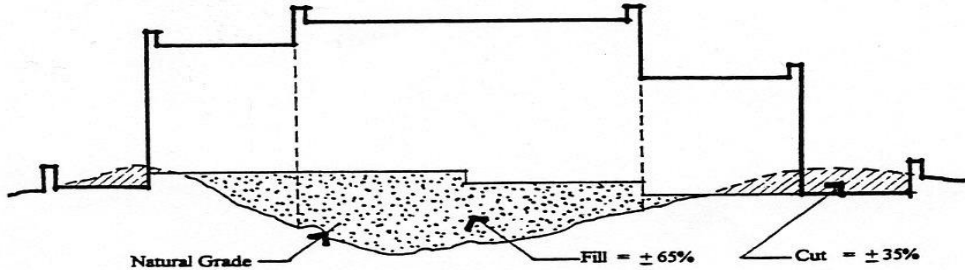
In cases where the building zone is generally located on a ridge, knoll or other high point and the residence and improvements are primarily on a single level, the cut and fill conditions shall generally



be as shown.

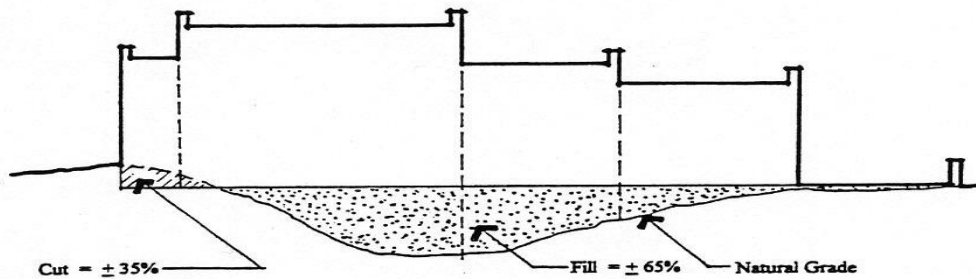
**(e) Low Center - Terraced Floor Levels**

In cases where the building zone is generally located in the low area of a homesite, in a low minor drainage way, or in other similar depressed areas and the residence and improvements are on multiple floor levels that step with the terrain, the cut and fill conditions shall generally be as shown.



**(f) Low Center - Single Floor Level**

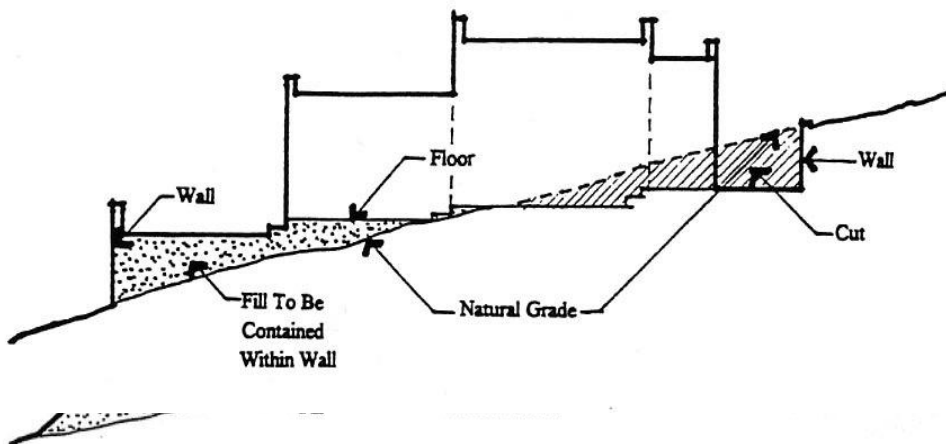
In cases where the building zone is generally located in the low area of the homesite, in a low minor drainage way, or in other similar depressed areas and the residence and improvements are primarily on a single floor level, the cut and fill conditions shall generally be as shown.



**(g) Cut and Fill slopes may not remain exposed following completion of construction** (see sketch). "Flat Pads" will not be allowed to extend beyond the perimeter of the building and/or site walls. Cut slopes may be re-graded and naturally contoured to match existing terrain if all grading is contained within the building zone and if, in the opinion of the DRC, the re-graded slope will

have a natural appearance upon completion.

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**Appropriate Cut and Fill**

#### **4.4 Entrance Driveways**

Entrance driveways should be located to minimize their visual impact on important natural features of a homesite such as large or significant plant materials, boulders, washes, or drainage ways. Driveways shall be a maximum of sixteen (16) feet wide at the encroachment. The driveway should be designed in such a way as not to interfere with drainage in the right-of-way of the street. One driveway entrance onto the street is allowed unless otherwise approved by the DRC.

Lots in which the residence is located more than one hundred feet (150) from the street may be required by the fire department to have an approved fire truck turnaround within one hundred fifty feet (150) of the residence. Current policies and standards should be verified with the applicable governmental agencies and regulations. The turnarounds should be integrated into the design of the overall driveway and guest parking areas of the site. Driveways and turnarounds must meet fire and safety standards as established by Plumas County or other applicable authorities.

Uncolored smooth concrete may not be used for driveway surfaces. Bomanite concrete, exposed aggregate, concrete utilizing integral coloring, colored concrete, pavers, flagstone, or asphalt are all approvable driveway materials, provided that the colors are within the limitations of these Guidelines. Feature strips of a different material and special aggregates in exposed concrete will be reviewed on a case-by-case basis. It is recommended that driveway connections to the street have a ten (10) foot asphalt apron to prevent damage from snow removal equipment to feature strips and special aggregates. Damage to driveways from snow removal equipment is not the responsibility of the Association. It should be noted that darker colored driveway materials melt snow and ice more quickly than light colored materials and are therefore recommended.

#### **4.5 Setbacks**

Except where higher county or state standards prevail, all setbacks will be reviewed on the merits of the submitted site plan. Minimum Gold Mountain/ Nakoma DRC building setbacks are twenty (20) feet on all sides where another homesite adjoins the property. Front, side and rear yards adjacent to a street require a twenty (20) foot setback. The minimum distance between buildings on adjacent lots must be forty (40) feet. The minimum distance between main and accessory buildings on a homesite is ten (10) feet. Other setbacks may be required by other local entities. On lots one acre or larger, the state SRA Fire regulations (Section 4290, Public Resources Code): All parcels 1 acre and larger shall provide a minimum 30 foot setback for buildings and accessory buildings from all property lines and/or the center of a road. Other Authorities Having Jurisdiction may impose setbacks or use limitations beyond these.

#### **4.6 Parking Spaces**

Each residence shall contain parking space within the homesite for at least two (2) automobiles in an enclosed garage either attached to or detached from the main structure of the residence. A minimum of two (2) additional exterior parking spaces must be provided to accommodate guest parking. Guest parking within the driveway is allowed. No exterior storage of boats or recreational vehicles is allowed at Gold Mountain/ Nakoma. Garage storage for those items should be incorporated into residential design.

#### **4.7 Swimming Pools and, Spas/Hot Tubs**

Swimming pools, pool equipment, hot tubs and spas must be located at the side or rear of residences and must be adequately screened from adjacent property, streets, golf corridors, or common areas. Pool and spa equipment must be housed or screened to prevent excessive noise and to minimize visibility from adjacent lots. Pool lighting and equipment shall be located and sized so as not to

reasonably disturb the occupants of any adjoining residences. Note: Due to environmental concerns, pool backwash and draining is not allowed into a wash or other natural drainage area. It is recommended that a drywell be constructed to allow for disposal of pool backwash and draining.

Pool equipment must not be visible from adjacent property, streets, golf corridors, or common areas. It must be enclosed by suitable screening to a minimum height of twelve (12) inches above the equipment.

#### **4.8 Sports Apparatus**

For reasons of noise control and aesthetics, athletic courts are discouraged. If they are to be included in a proposed plan, they must be minimally visible and located where they will not disturb neighboring properties. Basketball backboards must be 'painted out' or be 'clear' so that they are not seen.

#### **4.9 Exterior Play Equipment**

Exterior play equipment such as swing sets, slides, play structures, jungle gyms and similar equipment must meet the intent and requirements of all sections of these guidelines, including color. This type of equipment or structure should be located in the least visible portions of the homesite. Every attempt to screen this equipment from view of adjacent lots should be made, including the installation of mature landscape. All exterior recreational or play equipment requires specific approval of the DRC prior to installation.

#### **4.10 Address Identification**

The Association will provide and install street-side address identification markers near the driveway access to the property. Additional address markers as required by the Building Department or Fire Safety are allowed however the location shall be approved by this committee. Owners may install identification markers on the residence; however, they must be subtle in design, reflect the residence's design character, and be visible by emergency personnel. Temporary construction address signs are permitted during the construction period but must be removed upon final inspection.

#### **4.11 Exterior Holiday Decorations**

The association may develop restrictions on holiday decorations, contact the association office for current regulations.

## **ARCHITECTURAL DESIGN GUIDELINES**

The following architectural standards have evolved in response to climate, environmental and aesthetic considerations in the Gold Mountain/ Nakoma Community.

### **5.1 Design Character**

The design character should create a residence that blends with its environment instead of standing out against it. The design character of a residence should be considered from all sides (including the roof) and all elevations should maintain the same visual integrity, cohesiveness, and design detail. All designs should be textural with the use of multiple exterior materials, natural elements and complementing colors to avoid a monotone appearance. Creative use of shade and shadow can add visual dimension and texture to a design and is encouraged. Long continuous lines or small chopped up masses should be avoided.

All residences and improvements should include the use of at least two different complementing materials on all exterior wall surfaces. The secondary or accent exterior wall material should cover at least twenty percent of each elevation of the residence. Windows are not included in the calculation. These complementing materials should be carefully incorporated into an integrated whole and should not result in a home that appears like two different structures forced together.

The use of natural materials such as stone and wood are strongly encouraged. Thin veneers of mass materials such as stone should be avoided. These materials should be placed in natural mass forms that are true to the natural formations or authentic use of these materials and tie to the natural terrain. Stone veneer should not terminate at outside corners or in other ways that reveals it is a veneer.

The colors of concrete walkways, concrete pads, foundations, fascias, roof materials, window frames, railings, etc., should be carefully selected to create a well-composed palette of colors and textures that appear as an integrated visual composition.

Special attention should be given in the design of a residence to the following areas:

- View orientation
- Solar orientation
- Natural vegetation
- Natural drainage patterns
- Existing boulder formations and outcroppings
- Location of neighbors, potential neighbors and the golf course

### **5.2 Building Size**

A minimum of one thousand six hundred (1,600) square feet of enclosed conditioned living area, excluding garages is strongly encouraged. A maximum of twelve thousand five hundred (12,500) square feet of total enclosed area, including garages, will be permitted. Smaller or larger residences will be considered by the DRC but the building footprint shall be no less than 1,600 square feet.

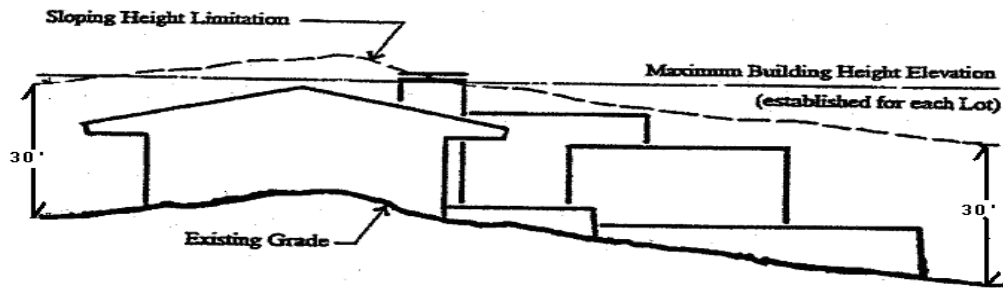
### **5.3 Building Height**

The terrain of the Gold Mountain/ Nakoma Community is varied with ridges, knolls, valleys, and other changes in elevation making absolute uniform applicability of height restrictions for residences inadvisable. The DRC may disapprove a proposed residence or other structure if it appears excessive in height when viewed from the street, common area, golf corridor or other homesite. Residences should not appear out of character with other residences or undesirably prominent because of height.

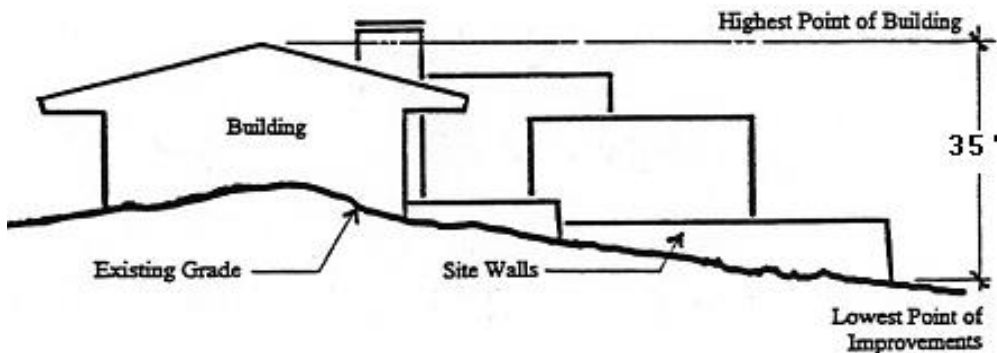


Residences that tend to blend with, rather than dominate the environment such as single-story multi-level buildings are encouraged. Residences may be sited partially below grade. The height of all residences and improvements is limited in these guidelines as described below. A summary diagram is provided to illustrate the application of each dimension. The DRC may require adjustments be made to proposed finished floor elevations regardless of building height compliance.

(a) **Sloping Height:** In addition to the other height requirements in this section, no portion of the residence or other improvements, except for chimneys, may exceed a height of thirty (30) feet above the existing (pre-construction) natural grade. This height is measured vertically at any point of the residence or improvement to existing natural grade immediately below that point of the residence or Improvement. Due to the unique and varied topography, the DRC may approve, on a case-by-case basis, and in its sole discretion, increases in the sloping height limitations.



(b) **Overall Building Height:** The overall height of a residence or improvement shall not exceed thirty-five (35) feet measured in a vertical plane from the highest parapet or roof ridge to the natural grade at the lowest point adjacent to the building exterior inclusive of site retaining walls, and pool walls. In special circumstances involving conditions which do not conflict with applicable county ordinances, the DRC may approve, on a case-by-case basis and in its sole discretion, increases in building height.



Unless otherwise specifically approved by the DRC, each residence should be composed of at least two or more visual building masses of differing heights as viewed from any elevation. Homes larger than five thousand (5,000) square feet, excluding garages, shall be composed of at least four visual masses of differing heights as viewed from any elevation.

(c) **Exposed Wall Heights:** While the specific design is a matter for each individual architect, additional height may be achieved if an additional wall or site wall is created and set back a minimum of six (6) feet from the high wall, subject to the limitations of the other governing criteria

in these Guidelines. Large blank walls will not be allowed. Door and window penetrations and applied banding or textured relief in a wall plane do not change the measurements of an unbroken wall height.

(d) **Articulation of Massing:** All height limitations are rudimentary criteria that form the basis of the general massing only. For example, in addition to the overall massing which should step with the terrain, it is expected that all elevations will not only take advantage of the view from within the residence but will provide pleasant views from all surrounding areas. All side and rear elevations are expected to be articulated to break up the facade into smaller elements, as well as adding the richness of shade and shadow.

(e) **Chimney Mass:** The height of a chimney mass may not exceed four feet above the highest point of the residence.

(h) **Retaining Wall Height:** The height of a retaining wall should not exceed eight (8) feet measured vertically from the lowest point at finished grade adjacent to the wall to the highest point of the wall along the exterior side of the enclosure. Retaining walls are defined as any walls that retain or hold back earth more than two feet in depth. Where justified by topographic conditions and where the extra height causes no adverse visual impact, an overall height of up to fourteen (14) feet may be achieved by use of more than one retaining wall, provided a minimum planting area of ten (10) feet is provided between the two walls. Open railings up to an additional three (3) feet high may be allowed on top of a retaining wall.

#### **5.4 Roofs.**

Because roofscapes will form an important part of the visual environment, they should be carefully designed. Flat roofs are discouraged. Pitched roofs shall be hipped or tie into building masses and may have a suggested minimum slope of 4 and 12 not to exceed 12 and 12. Mansard roofs are prohibited. The DRC shall have the authority to approve partial gable or shed roofs. Dominant roof colors such as white and red or reflective roof surfaces are prohibited. Metal roofs should have a matte finish. Roof materials should be textural with dark or deep color tones. All roofing shall be of Class A fire resistant material

#### **5.5 Color.**

The colors of all exterior building and improvements should blend with the natural colors of the homesite. Subdued accent colors may be used. The DRC recommends stain on external wood surfaces. When re-coating the original semi-transparent stain, transparent stain is allowed. The color for exterior artwork, sculpture or any other special features should also be muted tones chosen to blend rather than contrast with the residence and its surroundings.

#### **5.6 Reflective Finishes**

No highly reflective finishes shall be used on any exterior surfaces including exterior artwork and sculpture. Exterior glass may not be mirrored or opaque if such treatment causes the glass to be more reflective.

#### **5.7 Materials - Exterior Surface**

Exterior surfaces should be of materials that harmonize with the natural landscape. Textured masonry or stone would be fitting accents to a predominantly wood exterior and are encouraged as the combination of materials provides a textural context that breaks down visual massing in much the

same manner that the variety of the forest itself breaks up the large expanses. Plywood siding or composition siding would not be allowed.

### **5.8 Building Projections**

All projections from a building including, but not limited to, chimney caps, vents, gutters, flashing, scuppers, down spouts, utility boxes, porches, railings and exterior stairways shall match the color of the surface from which they project or be an appropriate accent color.

### **5.9 Antennae/Satellite Dish**

The DRC encourages locations that are least visible from adjacent lots, golf course corridors and the street. Satellite dishes should be of a color that blends with the background.

### **5.10 Skylights**

The use of skylights should be limited, and they should be located to minimize their visibility from other lots. Skylights on roofs facing the street are discouraged. Skylights should be low profile and tinted bronze or gray. They should not cause objectionable glare or reflections. Frames should be dark in color. Any skylights must be noted on the building plans.

### **5.11 Windows**

Windows should be located and sized to reduce objectionable reflective glare and nighttime light emittance. The use of overhangs, deep window opening recesses and other shading devices are encouraged.

Cladding material should blend or be a complimentary color to the exterior of the house. White cladding material is not allowed.

The use or addition of fabric-type awnings, exterior sunshades or other shading devices that do not appear integrated into the design of a residence is not recommended. Sun control and shading demands should be analyzed with the initial concepts and designed as an integrated part of the residence through the use of correct solar orientation, broad roof overhangs, shading masses and deeply recessed windows.

The exterior aspect of window coverings, viewed from outside the homesite, is of the utmost importance. Window coverings, including curtains, drapes, shutters, or blinds should be of a consistent neutral color.

### **5.12 Patio and Courtyards**

Patios and courtyards should be designed as an integral part of the residence so they can be shaded and protected from the sun by roofs and building masses.

### **5.13 Solar Application**

All solar collection devices shall be integrated aesthetically and screened as much as possible from adjacent portions of the Development. Passive solar applications or the orientation and design of the residence for maximum winter sun gain will reduce the winter heating needs and are encouraged. Because activate solar collectors can cause excessive glare and reflection, frames, panels and attachments should be dark in color. Ground mounted solar panels must be screened from view with frames and attachments dark in color. As with all design elements of a residence or improvements, solar collectors should be integrally designed and aesthetically pleasing. When possible, it is recommended that solar collectors not be visible from adjacent lots.

#### **5.14 Screen Walls/ Fencing**

Screen walls should be a visual extension of the architectural design of the residence. The height of a screen wall or site wall should not exceed five feet six inches (5'-6") measured vertically from the lowest point at finished grade adjacent to the wall to the highest point of a wall along the exterior side of the enclosure.

Screen walls may be used to separate the Private Zone from the rest of the Building Zone and as screening for parking and service areas. They may not be used to delineate property lines or to delineate the Building Zone. The colors of walls must conform to the standards described in these guidelines.

Fencing shall be permitted outside the Private Zone and must be of a pass-through type not exceeding (5'6") in height. Limited low level, non-contiguous decorative fencing of a uniform type may be utilized as landscape accents.

#### **5.15 Service Yard**

All above-ground garbage and trash containers, clotheslines, mechanical equipment, pool equipment and other outdoor maintenance and service facilities should be completely screened by walls at least one foot higher than the equipment so it is not visible from adjacent lots, common areas, the golf course, or streets. Gates or a maze entry that provides complete screening shall be required around all mechanical and pool equipment enclosures.

#### **5.16 Guest Houses/Guest Suites and Accessory Buildings**

Although it is preferred to have all structures on the homesite built at the same time, additional structures may be built separately from the main structure. Additional structures, such as guest house, garage, or accessory buildings, must be designed as a single visual element with the main residence and should be related to it by using the same exterior finishes and major landscape elements. A freestanding guest house or accessory building must comply with applicable County zoning.

#### **5.17 Storage Tanks**

All fuel tanks, water tanks, or similar facilities shall be shielded from view from adjacent lots, streets, and common areas by walls or structures or shall be located underground with all visible projections screened from view. Underground placement is highly encouraged.

#### **5.18 Utilities**

All utility line installations to buildings or structures placed upon any homesite shall be underground.

#### **5.19 Signs – For Sale, For Rent or Lease**

The Gold Mountain/ Nakoma Homeowners' Association has developed a policy to standardize and make real estate signage aesthetically pleasing. The policy is contained as Appendix E of these Guidelines. No other signage is permitted.

### **5.20 Radon Gas Protection**

There has been no identification that significant amounts of radon gas are present in the soil Gold Mountain/ Nakoma. Homesites may be tested by a competent professional for the presence of radon gas, the requests of the homesite owners, if desired by the homeowner.

### **5.21 Columns**

In keeping with the intent of visual strength in the architectural design, column proportions are critical. Columns, including deck columns and piers, must have a minimum dimension of six (6) inches in diameter.

### **5.22 Garages**

(a) Garages should be of a standard height and not designed exceptionally tall in order to house or store large recreational vehicles. . Garage doors should not exceed 9' in height; however, taller heights may be allowed if the scale is appropriate to the rest of the structure or adequately shielded from view. Every effort should be made to minimize the impact of the garage and the garage doors. Careful siting and driveway orientation can ensure that a garage is recessed from view from the street and adjacent lots. In an effort to minimize garage impact, no more than three garage stalls (i.e. three single doors or one single and one double garage door) will be allowed adjacent to each other in a continuous plane. It is recommended that the garage door color match the siding color.

(b) Detached Garages – No detached garage or storage building shall be of exceptionally tall height as to allow for large recreational vehicles storage. Detached garages or storage buildings should be designed to minimize the impact of the garage and the garage door(s) from view of neighbors and other lots. The garage door height shall be of a scale that is appropriate to the rest of the building. Careful siting and orientation should be done to ensure the structure blends into the landscape and with the main house design.

### **5.23 Unique Exterior Features**

Unique exterior features including, but not limited to, entry arches, decorative gates, glass patterns, railings, stairs, enclosures, shade structures, ponds, fountains, gazebos, cabanas, exterior fireplaces, exterior battery storage, and the like must be designed as an integral part of the residence. Requests for approval of unique exterior features should include detailed design information including sketches, cut sheets, photographs, etc. as a part of the Preliminary Submittal and the Final Submittal for approval by the DRC.

### **5.24 Decks and Balcony Height**

No decks or balcony may be installed higher than the highest floor level.

## **LANDSCAPING DESIGN**

### **6.1 Overview**

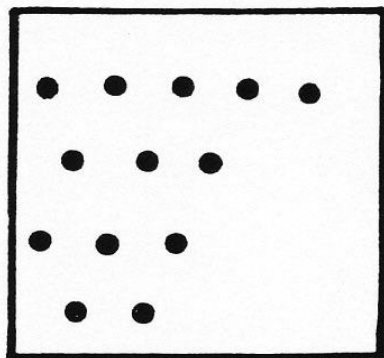
Landscaping shall be designated to complement, protect and harmonize with the natural terrain, existing trees, and vegetation and emphasize water conservation designs. Stone, gravel, concrete and similar materials shall be used only for complementary and supplementary purposes and no Homesite shall be covered entirely with these materials.

The Landscaping Design should blend the residential structures with the unique features of each homesite. Native trees and rock outcroppings provide interesting elements to a landscaping design. Structures should be placed to retain as many of these elements as possible. Native plants should be used for the landscaping design. A list of approved native plants is attached as Appendix B. Fire safety is critical to the Gold Mountain/ Nakoma community. The use of native, fire retardant plants is recommended. These plants have adapted to the mountain area and have the added benefit of lower maintenance cost. The DRC many consider plants that are not included on the Approved Plant List; however, native species are preferred.

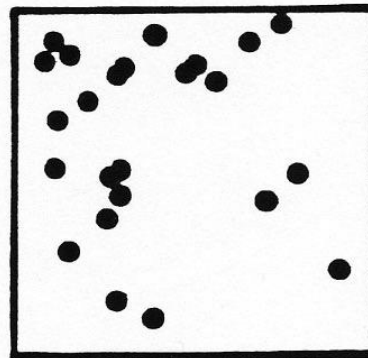
The landscaping design plan shall be prepared in detail indicating the type, size, quantity, and placement of all plants and irrigation elements to be installed. The owner may elect to return disturbed vegetation back to the natural condition that existed prior to construction. Plants not listed on the Approved Plant List must also be identified on the plan and include a photo and description for each non-approved plant proposed.

### **6.2 Re-vegetation**

The goal and intent of re-vegetation is to restore any areas disturbed by construction or grading to a natural appearance such that upon maturity of the re-vegetation, the area appears as if it were never disturbed. Re-vegetation is required inside the Building Zone and other areas that are disturbed by grading or construction. Re-vegetation includes the combined use of trees, shrubs, ground cover and seed, all of which are necessary to achieve the desired results. Re-vegetation plant material shall be planted in a density and arrangement that is like the adjacent undisturbed Natural Area. This re-vegetation landscaping must include only indigenous species specifically identified on the Approved Plant List. All re-vegetated areas must comply with the Gold Mountain/ Nakoma Hazardous Fuel Treatment Program (see Appendix "D"). The use of a re-vegetation seed mix, containing native flowers and grasses must comply with the Approved Plant List.



**NO**  
Do not place vegetation in geometric massings as diagrammatically indicated above



**YES**  
Randomly placed vegetation in natural massings as diagrammatically indicated above

Plants selected should provide a well-designed and natural looking area upon maturity of the re-vegetation plant material. All plants should be placed in a natural pattern, similar to the illustration above and not in a formal or geometric pattern.

The planting of alien species, particularly generic wildflower mixes, shall be prohibited in interconnected naturally vegetated areas of the Development including the Lots. Native plant species only shall be permitted to be planted outside the building envelopes on residential Lots. The clearing of trees, brush, or other vegetative matter on residential Lots outside of the building envelopes shall only be permitted to the extent necessary pursuant to the fire safety regulations of Plumas County. The removal of vegetation to otherwise reduce fire hazard may be done but shall be under the direction of the Association. Removal of dead or diseased trees is permitted, but some habitat snags should be left for wildlife habitat.

### **6.3 Irrigation**

While indigenous plants can survive on available rainwater, irrigation during the establishment period may be necessary. Drip systems deliver water directly to the root systems and are the preferred system of irrigation. Drip systems result in lower water usage due to efficient application and decreases weed growth, as areas between shrubs are not irrigated. Gold Mountain CSD water conservation guidelines must be followed.

### **6.4 Landscape Maintenance**

Each owner is required to maintain the landscape on their homesite in such a manner that it does not become visually unattractive, overgrown or not in keeping with the provisions of these Guidelines.

The Natural Zone should require minimal maintenance since it is intended to appear as the undisturbed forest and should not have a manicured or groomed appearance. These areas should be maintained in such a manner that they comply with the Gold Mountain/ Nakoma Hazardous Fuel Treatment Program which is available on the Association's website.

The landscape areas between the Private Zone and the Building Zone that are not clearly divided by site walls should naturally transition the level of maintenance so as not to create a clear line of demarcation between the two zones.

## **6.5 Prohibited Plants**

All plant material that has characteristics which are potentially destructive to the Natural Zones and indigenous plants by reason of profuse and noxious pollens, excessive height, weed-like characteristics of excessive growth and high water demands should not be planted in the Gold Mountain/ Nakoma Community.

## **6.6 Native Tree Damage**

Protection of native trees greater than six (6) inches diameter as measured from three (3) feet above the ground level should be considered in building placement on site. Improvements should be situated to avoid the most mature trees on the lot. Trees to be removed during construction must be identified on the building plans and will be considered by the DRC during the review process.

## **6.7 Rock Outcroppings and Boulders**

The natural sites in the Gold Mountain/ Nakoma Community have numerous scattered boulders and rock outcrops. The existing boulder features should be incorporated in the building and site design. Relocating significant boulder formations is strongly discouraged. If additional boulders and rock outcrops are proposed or existing boulders moved, they should be placed in a natural arrangement with the boulders being placed horizontally with a minimum of one-third of the boulder buried in the ground. Boulders should be naturally clustered, not aligned or evenly arranged. The color of potential additional boulders should closely resemble the color of the boulders native to the Gold Mountain/ Nakoma Community. Broken or crushed surfaces of boulders should not be exposed.

## **6.8 Mineral Landscape Features**

Boulders, gravels, mineral ground covers and similar features should be limited either to materials indigenous to Gold Mountain/ Nakoma Community area or to materials similar in color and appearance to indigenous materials.

## **6.9 Exterior Lighting**

The design and philosophy of Gold Mountain/ Nakoma extends to the preservation of the natural forest setting within the community at night as well as the daytime. The objective is to allow for the minimum lighting necessary to provide for safety, security and the enjoyment of the outdoors, while not competing or interfering with the nighttime panorama or the natural darkness of the forest against the sky.

The following guidelines are established to implement the stated philosophy:

The amount of light emanating from any structure, measured at its property lines, shall not exceed 0.5 lux. Measurements are made with all exterior lights displayed at customary intensity if variable intensity is available. When measurements are taken, interior lights shall also be switched on to a level used when guests are expected. This illumination value does not apply when the ground is snow covered and does not apply to short term security or alarm lighting.

Outside lighting will not be permitted to use a colored light source or to have an exposed light source (bare lamp or bulb); However, translucent or opaque enclosure materials such as frosted, textured or pebbled glass may be employed to obscure a light source. When translucent materials are used, bulbs used must be of incandescent and frosted type and no fixture shall exceed 60 watts (900 lm). Exterior lighting shall not be left on all night long. Vapor lights of any kind, including but not limited to sodium or mercury vapor, are not permitted.



**Exterior Structure Lighting:** The color of the light fixture, its shield and housing trim, including exterior soffit lights, shall be compatible with the building color. Lighting in exterior soffits, eaves, or ceilings shall make use of recessed lighting. Each fixture shall not exceed 60 watts (900 lm). Light sources exceeding 60 watts (900 lm) will not be allowed for exterior use, unless specific approval is received from the DRC. The use of dimmer switches is encouraged.

**Driveway and Pathway Lighting:** Homeowners are encouraged to install safety lighting for their driveways and pathways for safe passage for entering and leaving the property. Low voltage lighting is recommended since these fixtures are typically small and can be easily concealed within the native vegetation. All light fixtures must be controlled by a switch or motion sensor which allows the lighting to be turned on and off as required above. All fixtures are required to direct all light downward only and shall not exceed 100 lumens (7 watts) each. Fixtures will not be permitted to use a colored light source or to have an exposed light source (see above).

**Patio and Private Area Lighting:** Lighting used within the Private Area as defined in section 3.3 may remain on for the duration of active use.

**Dedicated Security Lighting:** Lighting can be used only for security reasons but must be turned off once the threat is resolved and must meet the requirements for exterior lighting above.

Members who seek the advice of professional lighting designers should notify those professionals that this policy is based on standards published by the Illuminating Engineering Society of North America (IESNA) for Intrinsically Dark Areas (Zone E1).

## **CONSTRUCTION REGULATIONS**

To assure that the natural landscape of Gold Mountain/ Nakoma is not unduly damaged during construction and to protect the community from unsightly construction sites, contractors must agree to Construction Regulations in writing for each residence or other improvements on a homesite. All builders and owners shall be bound by these Construction Regulations and any violation by a builder shall be deemed to be a violation by the owner of the homesite.

Policing of building sites during construction may be done by DRC Members, the Association Manager (Manager) and/or their agent, acting as a roving inspector on their regular rounds. Violation of the Construction Regulations or any conditions of Final Approval may be reported to the DRC who will contact the builder and homesite owner involved.

### **7.1 Pre-Construction Meeting**

Prior to commencing construction, the builder must meet with the DRC to review the Construction Regulations, procedures and guidelines of this section. The following items must be completed at this time:

- a. Refundable Construction and Landscape Deposits, as specified in the Design Review Application, must be collected no later than this meeting.
- b. Construction Regulations will be reviewed and signed by owner/contractor.
- c. Construction fencing installed identifying the building zone.
- d. Trees to be removed tagged with surveyor ribbon, not paint.
- e. Boulders and rock outcropping within the Building Zone must be fenced.
- f. The Topographical benchmark must be in place.
- g. A fire extinguisher (10 lbs dry chemical type) must be on site.

### **7.2 Construction Deposit**

To assist the DRC in enforcing compliance with these Regulations, a Construction Deposit will be paid by the owner, no later than the Pre-Construction Meeting. Should it become necessary for either the DRC or the Association to remedy any violation of these regulations, the cost of such remedy can be charged against the deposit. If at any point during construction the Construction Deposit is depleted due to fines or fees caused by violations, all construction must be stopped until the Construction Deposit is replenished by the owner.

The Construction Deposit will be refunded, less any fines and fees, upon Final Construction Approval signifying satisfactory completion of all requirements.

### **7.3 Occupational Safety and Health Act Compliance (OSHA)**

All applicable OSHA regulations and guidelines must be strictly observed at all times.

### **7.4 Construction Trailers, Portable Field Offices, Etc.**

Any owner or builder who desires to bring a construction trailer to Gold Mountain/ Nakoma shall first apply for and obtain written approval from the DRC. To obtain such approval, the owner or builder shall submit a copy of the site plan with proposed locations of the construction trailer. Such temporary structures shall be removed upon completion of construction.

### **7.5 Fencing**

To protect the Natural Zone of a homesite from damage due to construction operations, a green construction fence at least three feet tall will be installed to completely enclose the Building Zone.

This fence is required to be installed not later than the pre-construction meeting, prior to starting any work on the homesite. The construction fence shall have a single entrance located at the driveway entrance and shall be maintained intact until removal is approved by the DRC. In special cases the DRC may allow materials to be stored outside the construction fence when specifically approved in advance by the DRC. The construction trailer, if any, portable toilet, construction material storage and trash receptacles must all be contained within the Building Zone.

If necessary, to conduct construction activities outside of a Building Zone to complete an improvement falling within the Building Zone, the owner of the homesite may submit a request to the DRC for a Building Zone infringement. Utility lines and septic tanks located outside the Building Zone do not require DRC approval as long as they are identified in the site plan. The construction area outside the Building Zone will be required to be re-vegetated and returned as close as possible to its original condition.

### **7.6 Debris and Trash Removal**

Builders shall clean up all trash and debris on the construction site at the end of each day. Trash shall be removed from each construction site frequently and not be permitted to accumulate. Lightweight material, packaging and other items shall be covered or weighted down to prevent being blown away from the construction site. In no case may debris and trash be allowed to exceed the top of the trash receptacle. The DRC reserves the right to apply fines to builders and owners who fail to control debris from blowing or being disposed of on other lots or common areas. Builders are prohibited from dumping, burying, or burning trash anywhere on Gold Mountain. Each construction site shall be kept neat and clean and shall be properly policed to prevent it from becoming a public eyesore or affecting other lots, golf corridors, or any open space.

Dumpsters or other trash receptacles must be located within the Building Zone. For physically constrained sites, smaller trash receptacles with more frequent removal may be necessary in order to fit the trash receptacle within the construction fencing.

### **7.7 Washout and Cleaning**

Washout of concrete trucks or the washout and cleaning of any equipment by masons, plasterers, painters, drywallers, etc. must be contained within the Building Zone of each homesite. Washout or cleaning residue shall not be allowed to flow off of the homesite or into drainage ways. Unsightly dirt, mud or drilling effluent debris resulting from activity on each construction site shall be removed and the general area cleaned up. The builder will also be responsible for restoring the damaged area to its natural state.

### **7.8 Sanitary Facilities**

Each builder shall be responsible for providing and maintaining adequate sanitary facilities for construction workers. Portable toilets or similar temporary toilet facilities shall be located only within the Building Zone.

### **7.9 Vehicles and Parking Areas**

Construction crews shall not park on, or otherwise use, other lots or any open space. Construction vehicles and machinery shall be parked only within the Building Zone. If space within the Building Zone is insufficient, parking is permitted on streets adjacent to the homesite provided such parking is on one side of the street only and does not inhibit traffic or emergency vehicles.

Any damage done to the entry gates, streets, street signs, the common area, the golf course, other lots, or utility facilities is the responsibility of the general contractor and ultimately the owner of the homesite being improved.

Each builder shall be responsible for its subcontractors and suppliers obeying the 20 mph speed limits posted within Gold Mountain. Fines may be imposed against the builder from the Construction Deposit for repeated violations.

#### **7.10 Conservation of Landscaping Materials**

Builders shall be advised that the lots, common areas and open spaces of Gold Mountain/ Nakoma contain valuable native plants and other natural features such as topsoil, rock outcroppings, and boulders that should be protected during construction.

#### **7.11 Excavation Materials**

Excess excavation materials must be hauled away from Gold Mountain/ Nakoma and disposed of properly. Dumping of excess excavation materials within Gold Mountain/ Nakoma is prohibited.

#### **7.12 Blasting**

If any blasting is to occur, the DRC must be informed at least one week in advance and Notification of neighboring owners must be accomplished by the DRC or assignee prior to blasting.

#### **7.13 Restoration or Repair of Other Property Damage**

Any damage and/or scarring to property other than the construction homesite must be repaired and/or restored promptly at the expense of the owner.

#### **7.14 Miscellaneous and General Practices**

All owners will be responsible for the conduct and behavior of their agents, representatives, builders, contractors, and subcontractors while on the premises of Gold Mountain. The following practices are prohibited:

- a. Changing oil or otherwise servicing any vehicle or equipment on the site itself or at any other location within Gold Mountain/ Nakoma not performed in an environmentally safe manner (e.g. changing oil or other machinery fluids with an oil pan and transporting same safely from the homesite).
- b. Concrete suppliers, plasterers, painters, or any other subcontractors cleaning their equipment other than at locations specifically designated. Residue from cleaning is not allowed to flow into drainage ways or Natural Zone locations.
- c. Removing any rocks, plant material, topsoil, or similar items from any property of others within Gold Mountain, including other construction sites.
- d. Using disposal methods or units other than those approved by the DRC.
- e. Careless disposition of cigarettes, flammable materials, and litter.
- f. Careless treatment or removal of any plant materials without approval by the DRC.
- g. Use of, or transit over, any golf course area, including golf cart paths or golf maintenance paths.
- h. Use of, or transit over, any common area paths or trails.

- i. Pets, particularly dogs, brought into Gold Mountain/ Nakoma by construction personnel that are not under the construction personnel's positive control. In the event of any violation hereof, the DRC or the Association shall have the right to contact Plumas County authorities to impound the pets.
- j. Radios or other audio equipment that are operated so that they impact golfers or homeowners living at Gold Mountain.
- k. Warming fires not contained in an approved receptacle such as 55-gallon drum, propane barbecue unit, or propane campfire unit.
- l. Storage or parking of non-construction related vehicles, trailers, boats, etc. at the construction site.
- m. Living on site during construction

### **7.15 Construction Access**

The only approved construction access during the time a residence or other improvement is under construction will be over the approved driveway location for the homesite unless the DRC approves an alternative access point. The location of the entrance is to be used, along with the standard procedures and operations of the gate, will be issued to each builder working within Gold Mountain.

### **7.16 Dust and Noise**

The owner shall be ultimately responsible for controlling dust and noise from the construction site.

### **7.17 Construction Signage**

To maintain the residential character of Gold Mountain/ Nakoma and to minimize the visual clutter that unlimited construction signage can cause, all construction signs must comply with the following requirements:

Maximum size: not to exceed sixteen square feet. A plastic box or pouch for containing information is not allowed.

Frame: Double staked natural wood or painted black or forest green.

Sign: One-sided with forest green paint on the back of the sign. The sign colors and design should be consistent with posting party's normal signage. In no case shall the sign contain fluorescent, metallic or bright reflective paint.

Location: Not closer than twenty (20) feet from edge of street surface. Only one sign is allowed on street side of the homesite. Signs will not be placed on trees, windows, fences, or in any other location other than addressed above.

Removal of signage: The sign must be removed not later than completion of the residence.

### **7.18 Fire Protection**

At least one full and operable ten (10) pound ABC rated dry chemical fire extinguisher shall be present and available in a conspicuous place on the construction site at all times.

The Association recommends that a fire extinguisher be installed in an accessible location in your residence in the event of a house or wildfire on your property. It's also recommended that another fire extinguisher be installed in the kitchen in the event of a kitchen fire. Fire extinguishers should be checked annually to ensure that they are charged and operational.

A yard hydrant must be installed for fire suppression and construction use as soon as practical.

### **7.19 Daily Operation**

Daily working hours for exterior construction purposes shall be from 7:00 am to 6:00 pm Monday through Saturday. No exterior construction noise or construction causing noise audible from outside the site, including interior construction noise, shall be allowed after 6:00 P.M. daily or on Sunday.

### **7.20 Construction Completion**

The construction of all residences and structures shall proceed diligently from commencement of construction until such residences and structures are fully completed. All residences and structures shall be completed within two years from the date of commencement of construction; except, however, when a delay is caused by acts of God, strikes, actual inability of the owner to procure delivery of necessary materials, or by interference of other persons or forces beyond the control of the owner. The DRC shall review any construction not completed within the two-year period and upon a written request from the owner may extend the construction period. For purposes of this Declaration, commencement of construction shall be the date work on clearing the homesite begins.

In the event a residence or structure is not completed as to exterior appearance, within two years from the date of commencement of construction, the structure could be declared a nuisance, unless an extension is granted. If declared a nuisance, the Association may impose a fine of up to five thousand (\$5000) dollars. The structure may be abated and removed by the Association thru appropriate proceedings. The expense incurred in connection with such abatement and removal shall become a lien against the property.

### **7.21 Compliance**

It is the owner's responsibility to assure the contractor's compliance with these guidelines. Upon notification of non-compliance the owner has ten (10) business days to either bring the project into conformance with these guidelines or notify the committee of the steps being taken to remedy the situation. A fine may be levied by the Homeowner Association for non-compliance of the guidelines for an amount up to \$5,000.

## **MISCELLANEOUS**

### **8.1 Liability**

Neither the Association Board, the DRC, nor any DRC member thereof shall be liable to any Owner or to any third party for any damages, loss, or prejudice suffered or claimed on account of (a) the approval or disapproval of plans, drawings and specifications, (b) the construction or performance of any work, whether or not pursuant to approved plans, drawings and specifications, (c) the development of any property within the Development, (d) the execution and filing of an estoppel certificate pursuant to Section 9.9 of the HOA CC&Rs, or (e) the execution and Recordation of a Notice of Noncompliance or non-completion pursuant to Section 9.9 of the HOA CC&Rs, if the DRC or such DRC member has acted in good faith on the basis of such information as may be possessed by them.

specifically, but not by way of limitation, it is understood that plans and specifications are not approved for engineering design, and by approving such plans and specifications neither the DRC, nor any DRC member thereof, assumes liability or responsibility therefore, or for any defect in any structure constructed from such plans and specifications.

### **8.2 County and Other Approvals**

Approval of any project by the DRC does not waive the requirements for the issuance of County permits, nor does obtaining all required County permits waive the need for DRC architectural review. The DRC will not knowingly approve a project, which violates any county building or zoning codes or those of any other governmental agency or entity but takes no responsibility for plan conformance to any criteria other than the Guidelines. Section 9.10 of the Second Restated Master Declaration of Covenants, Conditions and Restrictions of Gold Mountain reads as follows:

*“9.10 Inspection, Non-Compliance. The Committee, or its authorized representative after forty-eight ( 48) hours notice to the Owner shall have the right during normal business hours to enter upon any portion of the Development for the purpose of determining whether or not any work is being performed or was performed in compliance with this Declaration and the Guidelines.*

*If at any time the Committee determines that work is not being performed or was not performed in compliance with this Declaration and the Guidelines, whether based on a failure to apply for or obtain approval, a failure to comply with approval, a failure to timely commence or complete approved work or otherwise, the Committee shall notify the owner in writing of such non-compliance specifying the particulars of non-compliance, and demanding that the owner remedy such non-compliance within a reasonable and specified period.*

*In the event that the Owner fails to remedy such non-compliance within the specified period, the Committee shall notify the Association's Board of Directors which shall have the right and duty to address and remedy the non-compliance in any appropriate manner permitted by this Declaration and the Guidelines, or as otherwise permitted by law or in equity, including by not limited to removing the non-complying Improvement, correcting the non-complying Improvement, completing the non-complying Improvement, or executing and, if permitted, Recording a notice of non-compliance or non-completion 011 the property, as appropriate. The Owner shall have the obligation to reimburse the Association for any costs incurred in enforcing these provisions and such costs may be recovered by the Association in an action of law against such individual Lot Owner.”*

## **APPENDIX "A" DEFINITIONS**

Unless the context otherwise specifies or requires, the following words or phrases when used in these guidelines, shall have the following specific meanings. Terms used herein that are defined in the Declarations, shall have the meanings specified therein:

"Adjacent Homesite" means any homesite that shares a common boundary with the subject Homesite, as well as any Homesite that is located directly across a street or across a Common Area Open Space less than fifty feet wide or across a Golf Course Corridor.

"Applicant" means the specific individual person identified on an application form submitted to the Gold Mountain/ Nakoma Design Review Committee as the applicant to whom all design review correspondence shall be addressed.

"Architect" means a person appropriately licensed to practice architecture or landscape architecture in the State of California.

"Association" means the Gold Mountain/ Nakoma Homeowners Association as defined in the Declaration.

"Board" means the Board of Directors of the Association.

"Builder" means a person or entity engaged by an Owner, including the Owner acting as the Builder, for the purpose of constructing any Improvement on the Owner's Homesite.

"Building Zone" means that portion of a Homesite, as described in Section 3.1 of these Guidelines which encompasses the maximum allowed developable area of the Homesite.

"County" means the County of Plumas, California.

"DRC" means the Gold Mountain/ Nakoma Design Review DRC.

"Common Area or Open Space" means Common Area as denned in the Declaration.

"Construction Regulations" mean those rules provided by the DRC that govern the condition of the construction site and behavior of the Builder, his subcontractors, his employees, and other agents of the Builder during construction.

"Cut" means removal of soil, rock, or other earth materials to create a finished grade that is lower than the existing natural grade.

"Declaration" means the recorded Master Declaration of Covenants, Conditions, Restrictions, and Supplemental Declaration for Gold Mountain/ Nakoma as amended from time to time.

"Design Review DRC" means the Gold Mountain/ Nakoma Design Review DRC established pursuant to the Declaration.

"Design Guidelines" are the Design Review Guidelines referred to in the Declaration of Condition Covenants and Restrictions for the Gold Mountain/ Nakoma planned development.

"Design Review Coordinator" means the individual appointed by the Association to serve as the coordinator and liaison for the DRC.

"Excavation" means any disturbance of the surface of the land (except to the extent reasonably necessary for planting of approved vegetation), including any trenching which results in the removal of soil, rock, other earth materials or other substance from a depth of more than 12 inches below the existing surface of the land, or any grading of the surface.



"Fill" means any addition of soil, rock, or other earth materials to the surface of the land, which increases the elevation of such surface from its existing state.

"Final Submittal" means all the drawings and information required to be submitted to the Gold Mountain/ Nakoma Design Review DRC for final approval.

"Final Construction Approval" means notification by the DRC that construction of the Residence has been fully completed according to the final approved stamped plans and approved variances and conforms to existing Guidelines and amendments.

"Final Landscape Approval" means notification by the DRC that landscaping has been fully completed according to the final approved stamped plans and approved variances and conforms to existing Guidelines and amendments.

"Finished Floor Elevation" means the floor elevation of any portion of a Residence as measured from the topographical elevation benchmark.

"Gold Mountain/ Nakoma Design Review DRC" means the Gold Mountain/ Nakoma Design Review DRC established pursuant to Declaration also referred to as "DRC".

"Golf Course Corridor (Golf Corridor)" means the Golf Course Corridor as defined in the Declaration.

"Guest House" means a structure, separate from the main structure of the Residence, having sleeping facilities for one or more guests.

"Guest Suite or Additional Quarters" means sleeping facilities incorporated into the main structure of the Residence for the use of one or more guests.

"Guidelines" means Gold Mountain/ Nakoma Design Guidelines.

"Improvement" means any changes, alterations, or additions to a Homesite, including but not limited to any excavation, cut, fill, residence, buildings, outbuildings, roads, driveways, parking areas, walls, retaining walls, stairs, patios, courtyards, landscape, poles, signs, exterior art and any structure or other modification of any type or kind.

"Homesite" means a subdivided Homesite as shown on the plat of record for Gold Mountain.

"Natural Zone" means that portion of the Homesite as described in Section 3.2 of these Guidelines, which must remain undisturbed, lying within a Homesite, but outside of the Building Zone.

"Owner" means the Owner (as defined in the Declaration) of a Homesite. For the purpose herein, the Owner may act through his designated agent, provided that such agent is authorized in writing or by law to act in such capacity.

"Preliminary Submittal" means all drawings, models, and information required to be submitted to the DRC to obtain preliminary design approval.

"Private Zone" means that portion of the Homesite as described in Section 3.3 of these Guidelines, which is not visible from Adjacent Lots, streets, open spaces, or public spaces.

"Residence" means any building or buildings, including any garage or other accessory building used for residential purposes, constructed on a Homesite, and any Improvements constructed in connection therewith. Unless otherwise defined, "Residence" shall mean a single-family Residence.

"Street Zone" means that portion of a Homesite as described in Section 3.4 of these Guidelines which occurs between the Natural Zone and the street's edge.

"Structure" means anything constructed or erected on a Homesite, the use of which requires location on the ground or attachment to something having location on the ground.

"Visible from Neighboring Property" means that an object or activity on a Homesite which is or would be visible without the use of artificial sight enhancements in any line of sight originating from any point six feet above any other property, including other Lots.

## ***APPENDIX “B” NAKOMA APPROVED PLANT LIST***

The plant list is located on the Gold Mountain/ Nakoma web site:  
[www.goldmountainhoacsd.org/design-review-committee-drc](http://www.goldmountainhoacsd.org/design-review-committee-drc).

## **APPENDIX “C” NAKOMA HOA FUEL TREATMENT PROGRAM**

Information regarding the fire danger of living in a mountain community and the requirements required to maintain your property can be found on the Gold Mountain/ Nakoma web site under the Fire Wise Committee section. You may access that information directly using the following link:

**[https://www.goldmountainhoacsd.org/uploads/1/0/2/3/102328550/gm\\_standards\\_for\\_hazardous\\_fuel\\_treatment\\_w-apndx\\_adopted10-10-2014.pdf](https://www.goldmountainhoacsd.org/uploads/1/0/2/3/102328550/gm_standards_for_hazardous_fuel_treatment_w-apndx_adopted10-10-2014.pdf)**

These requirements were established by the GM FWC and the Home Owners Association and contain by reference Cal Fire's General Guidelines for Creating Defensible Space required by California State Public Resources Code section 4291.

Further information may be obtained by contacting the FWC or Cal Fire. The FWC can setup a free consultation with you at your homesite to discuss these requirements. Phone numbers are located on the web site or can be obtained from the GM CSD office at 530-832-5945.

## Gold Mountain Standards for Hazardous Fuel Treatment

The Covenants, Conditions, and Restrictions (CC&R's) of the Gold Mountain Homeowners Association's (GMHOA) require that all home and lot owners maintain the vegetation and fire fuels on their properties to prevent them from becoming a fire hazard.

Priority community goals for wildfire safety are: 1) public and firefighter safety, 2) protection of developed resources such as homes and infrastructure, and 3) protection of natural resources such as watersheds, mature tree stands, views, and habitats. Much fuel reduction work has been accomplished within the community since 2003. However all properties must be treated to the following minimum standards if we are to accomplish these goals.

These standards apply to all properties in Gold Mountain. Their goals are to reduce the intensity and rapid spread of wildfire and to enhance the resiliency of our forests to damage from wildfire. The aim is to accomplish these goals while strategically removing as only little vegetation as is necessary to meet these standards.

### **Minimum Hazardous Fuel Reduction Standards For All Gold Mountain Properties**

A fire safe condition requires that trees, shrubs, and other fire fuel sources are treated to reduce or arrange them in a way that makes it difficult for fire to transfer from one area to another. These standards contain references to information and photos from "Gold Mountain Wildfire Hazard Assessment" by Deer Creek Resources, July 2014. Key excerpts and photos from that report are contained in the appendix to these standards. References below are by photo number - for example (P3) refers to photo 3 in the appendix.

**Surface fuels** spread fire horizontally across forest floors. Grass, brush, saplings, tree litter, small suppressed stands of trees, and slash all increase the speed of fire spread and fire intensity.

#### **Surface Fuel Standards**

- Dead fuels such as brush, accumulations of down litter, and saplings are extremely hazardous and must be reduced, thinned, or removed. (P4, 7, 8, 15)
- Large brush fields should be separated horizontally so as not to be continuous with increased spacing on slopes. Future erosion should be avoided and taken into consideration when removing brush on steep slopes. (P9, 10, 17)
- Down logs that are over 4 inches in diameter do not need to be removed, however dead branches and smaller litter should be removed or scattered. (P1, 2, 4)

**Ladder fuels** allow the transfer of surface fires up into tree canopies. These 'ladder' or 'understory' fuels must be eliminated or modified in order to vertically separate surface fuels from fuels in tree canopies. Ladder fuels include brush, and small trees under mature trees, and low hanging limbs of mature trees. Ladder fuels must be removed within the drip line of larger over story trees.

#### **Ladder Fuel Standards:**

- Where they exist under or down slope from mature trees (over 9" in diameter), remove saplings and mid-sized ladder trees, and remove brush. (P3, 4, 6, 7, 9, 12, 13, 14, 15)
- Stands of small suppressed trees must be aggressively thinned. (P3, 12, 14, 15)
- Lower branches of mature trees must be removed up to a height of 6 to 15 feet above the ground, depending on existing surface and other ladder fuels. (P1, 7, 8, 12, 17)
- For smaller retained trees (below 30 feet in overall height), remove lower limbs, but no higher than 1/3 of the tree's total height.
- To promote a future multi-generational forest, fill in gaps between mature trees by retaining healthy saplings using 10 to 15 foot spacing. (P4, 5, 7)

**Canopy fuels** burning in the crowns of mature trees transmit wildfire by sending embers flying through the air. These embers increase the speed of fire spread by causing new and uncontrollable spot fires within the community and beyond.

**Canopy Fuel Standards:**

- Trees must be thinned to create separation of canopy fuels within large contiguous stands of trees. Any over-story thinning needs to balance the risk of crown fire hazard against the benefits of shade that a closed-canopy provides. This standard does not imply that adjacent tree drip lines should not overlap. (P 2,3,5)
- Tall dominant trees should only be removed where it is determined that there is no other way to reduce the hazard of canopy fire. Removal of trees over 9 inches in diameter as measured 3 feet above the ground requires specific approval by the GMFWC or board designee.(P6)

**Additional wildfire fuel standards within 100 feet of homes and structures**

On all properties with a home or other structure, a defensible space zone surrounding the structure is legally required by California Public Resources Code 4291.

**Defensible Space Standards:**

- The current standards for this law mandate that two areas surrounding any home or structure be fuel modified:
  - o a 30 foot “Lean, Clean, and Green” zone outward from the home (P16) o an additional 30 to 100 foot (or to the lot line) “Reduced Fuel” zone.
- For specific requirements see “General Guidelines for Creating Defensible Space”, as adopted by the State Board of Forestry:  
[http://bofdata.fire.ca.gov/PDF/Copyof4291finalguidelines9\\_29\\_06.pdf](http://bofdata.fire.ca.gov/PDF/Copyof4291finalguidelines9_29_06.pdf) or contact CALFIRE’s Lassen, Modoc, Plumas Unit’s Quincy Office at (530) 283-9322.

**On-going maintenance**

On-going maintenance is required once any of the above treatments have been successfully completed. Forests continue to grow and periodic clean up work is required by all property owners in order to maintain the fire safe forest conditions and separation of fuel sources that owners have created. The GMFWC or board designee will periodically survey properties and notify owners of the need for clean-up maintenance.

## **Appendix to Gold Mountain Standards for Hazardous Fuel Treatment**

Source: Gold Mountain Wildfire Hazard Assessment  
By Deer Creek Resources, LLC - July 2014

### **Treatment Priority Ratings:**

- Moderate - Minor Thinning and Regular Maintenance Required
- High - Thinning and Regular Maintenance Needed
- Critical - Significant Thinning and Brushing Needed

### **Wildfire Types:**

- Surface Fire spreads through surface fuels without consuming overlying canopy fuel.
- Passive Crown Fire or Torching - encompasses a wide range of crown fire behavior, from occasional torching of isolated trees to nearly active crown fire. Passive crown fire is also called torching or candling. An intermittent crown fire is similar to passive crown fire, but implies intermittent active crown fire rather than individual-tree torching.
- Active Crown Fire may also be also called a running crown fire or continuous crown fire. An active crown fire presents a solid wall of flame from the surface through the canopy fuel layers. Flames appear to emanate from the canopy as a whole rather than from individual trees within the canopy.

**Maximum Slope** – the maximum measured slope within the parcel as a percent of vertical.

**Elevation Range** – the change in elevation from lowest to highest point of a parcel in feet.

**Canopy Closure** – a measure of density of forest on a parcel expressed as a percentage of space containing trees using USDA National Agriculture Inventory Program aerial photography.

**Photo Series** - The following photographs and descriptions of wildfire fuel hazards and mitigation strategies are excerpted from Deer Creek Resources report: Gold Mountain Wildfire Hazard Assessment – July 2014. The pictures and text show examples of existing Gold Mountain forest conditions and illustrate solutions which have been included in ‘Gold Mountain Standards for Hazardous Fuel Treatments’.

**Photo 1 – Low hazard pine forest area, thinned in last 5-10 years.**



Acceptable amount of dead logs  
Good spacing on overstory trees

The photo above provides a good example of forest stewardship that accomplishes wildfire hazard reduction while minimizing the impacts on other natural resource values. The down logs (which can be very expensive to remove) provide cover for wildlife and nutrients to the soil. Without smaller branches and twigs on the ground, the logs will not cause rapid rates of fire spread. The remaining trees provide good shade, lowering surface temperatures and reducing the drying affect of the sun on surface vegetation. This, in-turn, narrows the season within which surface fuels will be critically dry. Most of the ladder fuels have been removed and trees have been pruned to 8-10', making it unlikely that a surface fire will be able to get into the crowns of the trees.



**Photo 2 – Low priority for treatment: Open pine stand, moderate hazard.**



The area in this photo has well-spaced trees and a high canopy base height. The smaller branches on the down-tree in the center-right of the photo should be scattered or removed. Logs larger than 4" in diameter can be left in place.

- By providing both food and microhabitats for many species, coarse woody debris helps to maintain the biodiversity of forest ecosystems. Up to forty percent of all forest fauna is dependent on CWD. Studies in western North America showed that only five per cent of living trees consisted of living cells by volume, whereas in dead wood it was as high as forty percent by volume, mainly fungi and bacteria.
- Colonizing organisms that live on the remains of cambium and sapwood of dead trees aid decomposition and attract predators that prey on them and so continue the chain of metabolizing the biomass.
- The list of organisms dependent on down logs for habitat or as a food source includes bacteria, fungi, lichens, mosses and other plants, termites, ants, beetles, snails, and amphibians such as salamanders.

**Photo 3 - Critical priority for thinning: Pine and juniper with heavy ladder fuels**



This photo is similar to what photo #2 would look like without thinning. Here, small seedlings and saplings provide 'ladder fuels' that will allow a surface fire to burn up into the crowns of the largest trees. This is referred to as 'torching'. Any area with the potential for 'torching' should be a **Critical Priority** for treatment. Under windy conditions, (when most large fires have historically occurred in the Gold Mountain area) 'torching' causes ember showers that can start spot fires as far as ½ mile away. Spot fires dramatically increase the difficulty of fire control and are a primary agent that causes small fires to escape initial attack and become large.

Red Xs in the image above show trees or brush that need to be removed. In general, dense stands of trees should be thinned to a 10-15' spacing, though clumps of several larger trees are acceptable if smaller ladder-fuel trees or brush are removed. Small trees represent tomorrow's large trees, so great care should be taken to select and retain healthy small trees to fill in the gaps in the forest. As a general rule, retain any small trees that are more than 10-15' from the base of a larger, overstory tree, selecting Sugar Pine, Douglas Fir, or Ponderosa Pine in preference to Incense Cedar or White Fir.

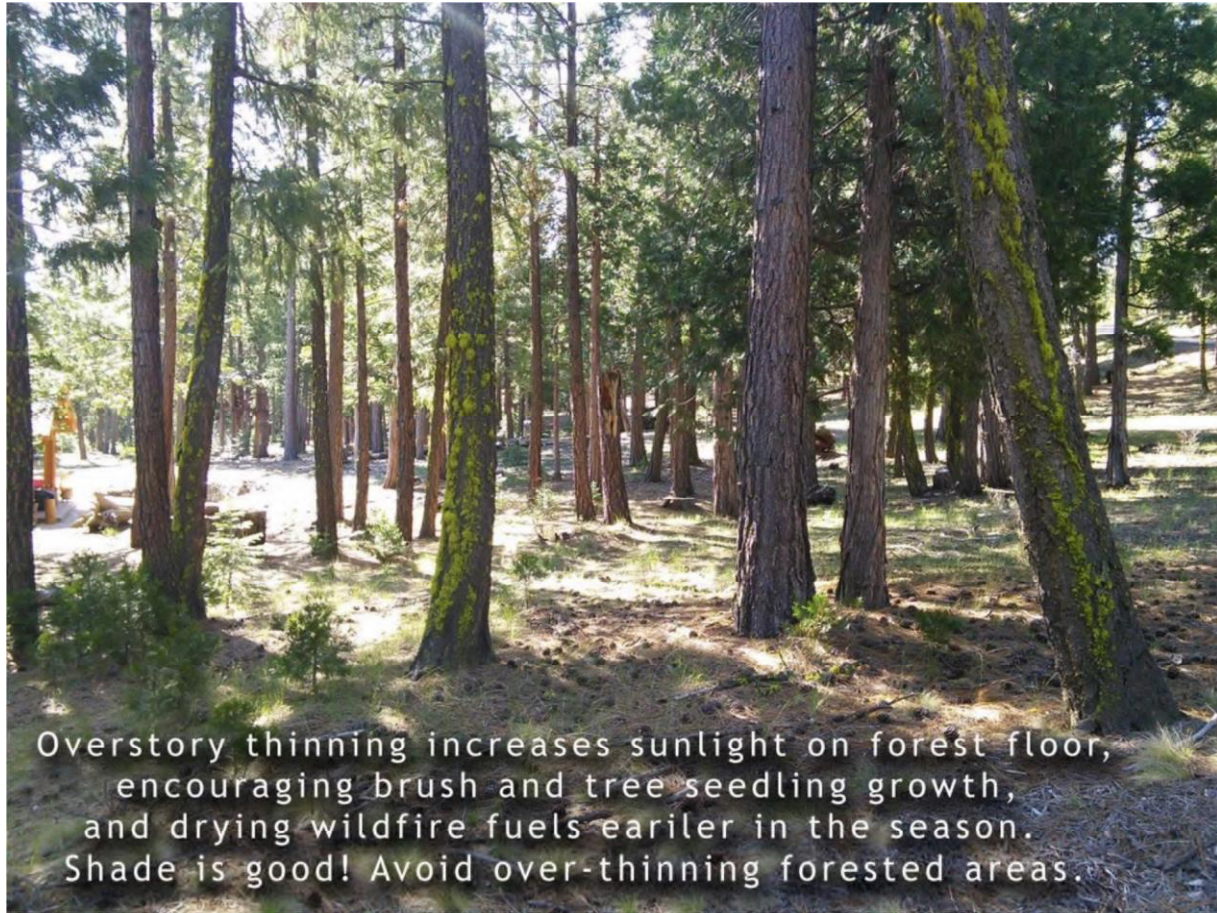
**Photo 4 - Moderate treatment priority: Dry pine forest site in need of restoration**



The forest in the photo above shows signs of being heavily logged over the last 50 years. While its open character decreases the likelihood of a crown fire occurring, its open condition allows abundant sunlight and wind to reach the forest floor, desiccating the site, and increasing the number of days that fuel conditions will be critically dry. Forest thinning projects here should focus on removing ladder fuels while retaining as many overstory trees as possible. Any healthy small trees that are more than 10-15' from a larger tree should be kept. Shade is good!

Large down logs provide valuable cover for wildlife and supply nutrients to build the soil. Any limbs or logs over 4" in diameter can be retained.

**Photo 5 - Moderate treatment priority: Thinned site, needs minor maintenance**



This site has good spacing on the mainly large trees, and a high crown base that will prevent surface fires from entering the canopy. The many small, shade-tolerant incense cedar trees should be removed while they are still small, unless they are in a large opening 10' or more from an existing large tree.

**Photo 6 - Moderate treatment priority: Open Cedar stand, needs maintenance**



This stand would be a higher treatment priority if there were more surface fuels or it was on a steeper slope. Surface fuels (mainly needles and duff) are light in this area, and this, coupled with good shielding of surface winds from the closed overstory canopy, will help to keep fire spread-rates slow here.

However, many of the small saplings will soon create ladder-fuel problems, and these should be removed as soon as possible. It is much easier to spend an afternoon cutting them out now with an axe than to hire a crew with chainsaws and a chipper 5 years from now.

The amount of light vs. shade on the forest floor is a good, quick indicator of canopy closure. Any overstory thinning that takes place in Gold Mountain needs to balance the risk of crown fire hazard with the benefits that a closed- canopy provides. These benefits include: Shade, reduced drying of surface fuels, protection from surface winds.

**Photo 7 - High treatment priority: Pine thickets – restoration opportunity**



Pine regeneration is often very vigorous in areas where the soil has been disturbed (either by logging, fire, road-building, construction, or other grading). Thickets like the one in the photo above are common in the Gold Mountain area. While the trees are small, they are easily thinned. These thickets provide an opportunity to select a few of the most vigorous trees to retain for the future forest. Cut saplings should be removed from the site.

**Photo 8 - High treatment priority: Pine and cedar, high hazard.**

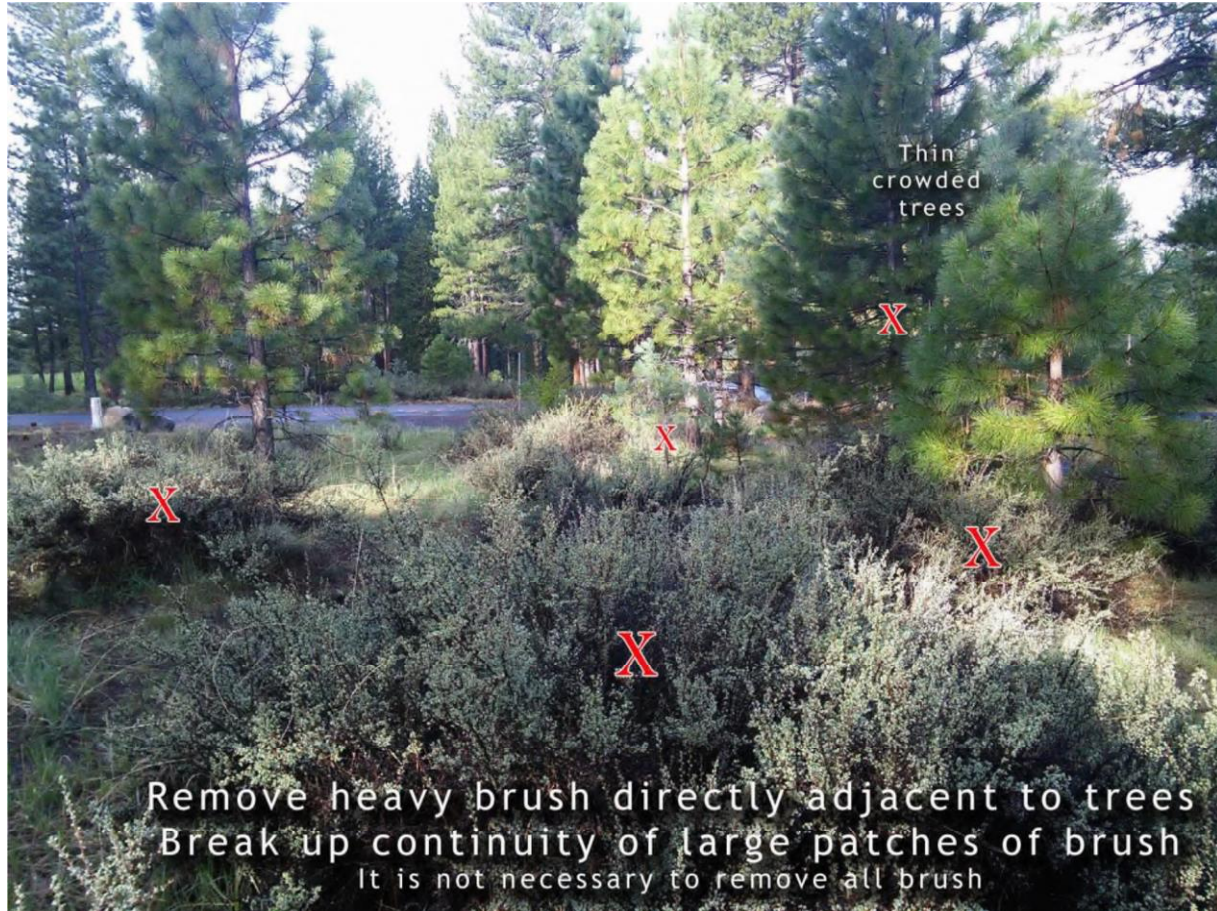


Large down logs provide important cover and habitat for wildlife. Hazardous fuel reduction in this photo should focus on pruning up the trees, and removing brush, ladder fuels, and branches less than 4" in diameter.

As in other photos of dry, exposed sites, a longer-term objective for this site should be to increase the number of large, well-spaced trees and shade.

This photo is typical of the high-priority lots in this survey.

**Photo 9 - High priority for treatment: Pine and brush, high hazard**



In bitterbrush fields, separate fuel continuity by isolating patches and creating mini fuelbreaks in a circumference around the patches. These isolated patches can be of varying shapes and sizes depending on the layout of the landscape. In addition to separating fuels into patches, individual plants can be selected to leave while cutting in between them at an average spacing of ten to fifteen feet.

Bitterbrush will both tip-sprout and stump-sprout; therefore, the cutting of bitterbrush be combined with a variation of two treatment methods where half of the brush is cut to the ground and the other half is cut three feet from the ground, allowing tips to sprout to create fresh wildlife browse.

Retain a diversity of shrub species throughout the site, especially species that are less abundant than bitterbrush such as curl-leaf mountain mahogany should be retained wherever possible, thinning around the patch to separate it from heavier fuels.



**Photo 10 - High priority for treatment: Pine and brush on a slope, high hazard**



The slopes in the Northeast corner of the community along Dancing Bears and Quail Run are exposed to full summer sun. The increased dryness of these South-facing slopes means that fires will spread uphill incredibly fast here. Especially in areas adjacent to homes, work should focus on annual weed-eating of the grasses within 200' of homes, removing dead brush, and reducing the continuity of live brush so that plants are at least 10 feet apart.

**Photo 11 - High priority for treatment: Gully topography, moderate hazard**



The contour of the land will help fires to burn uphill quickly in gullies and swales. Projects in these locations should focus on removing fine fuels and ladder fuels, and reducing continuity of brush. Near homes, grass areas down slope of the home should be trimmed after it has turned brown at the beginning of each summer.

On lots that have not yet been built, future builders should avoid siting homes or other buildings at the top of gully-type features.

The trees in this photo are well spaced and have a high canopy base. Fuel work in this type of setting should concentrate on protecting homes upslope.

**Photo 12 - Critical treatment priority: Pine and brush, high hazard**



In areas with heavy brush, removal efforts should focus on areas with 10' of existing large trees, and the trees should be pruned at the same time. Brush provides important browse for deer and other animals. Outside of the 100' radius of existing homes, it is not necessary or preferable to remove all brush. Fuels treatment should focus on disrupting the continuity of the brush.

Bitterbrush has a long taproot or taproots that can be as long as 18 feet, as well as a few shallow roots. It is an important browse plant and is favored by deer.

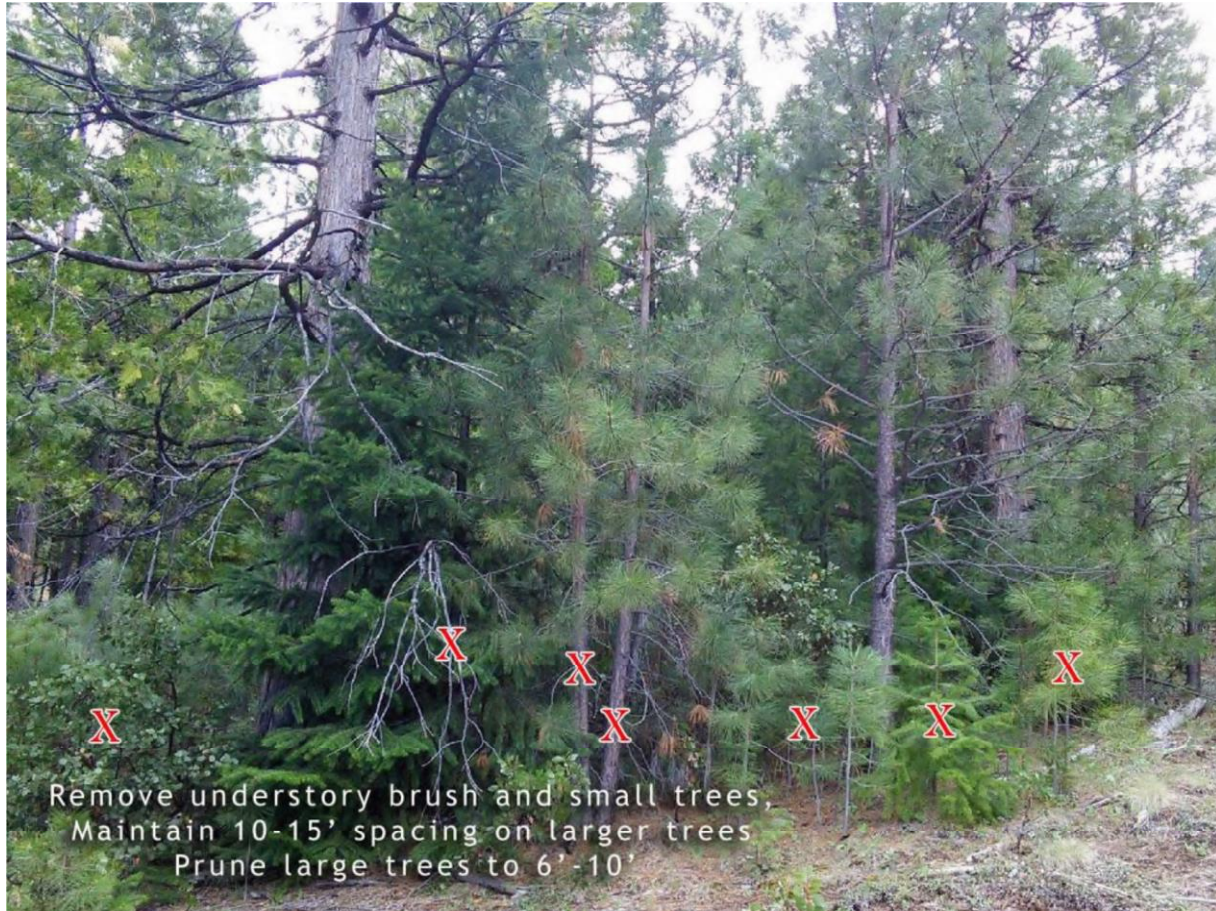
**Photo 13 - Critical treatment priority: Thinned site in need of maintenance**



This site appears to have been thinned in the last 10-15 years. Shade-tolerant incense cedars are in the process of turning the understory into a dense thicket. Left untreated, the cedar will create conditions that support torching wildfire behavior that can kill the large, overstory trees and create long-distance spotting. Also, dense cedar can become drought-stressed and die.

Surface fuel loads are light in this photo, and this will slow the spread of fires burning into this lot, somewhat offsetting the ladder-fuel hazard posed by the small cedar trees.

**Photo 14 - Critical priority for treatment: Pine and fir on a slope, extreme hazard**



This photo is typifies the 'Critical' fuel loading areas with the Gold Mountain community. The arrangement of the canopy fuels is such that any surface fire will almost immediately become an active crown fire. Under mid-summer weather conditions, flame lengths will be over 100 feet, and embers will start spot fires up to ½ mile away. Initial fire attack resources will be unable to contain all of the spot fires, as they will not know where they all are, and the fire will spread until weather conditions change, or the fire runs out of fuel.

These areas require significant thinning of understory ladder fuels and pruning of the larger trees. Effort should be taken to not over thin the larger trees, as they provide valuable shade and, if properly thinned and pruned, pose little threat during future fires.

**Photo 15 - Critical priority for treatment: Fir on heavily logged site, high hazard**



This photo shows another site which has been logged heavily over the last 50 years and is in need of restoration. The dead top and red slash in this photo are White Fir, a shade tolerant species that has increased in abundance in dry pine forests as a result of logging and fire suppression. White Fir are susceptible to beetle kill during drought events, and are less desirable than pine or Douglas Fir.

The many weak and scraggly White Fir trees in the understory should be thinned and the remaining trees should be pruned to 1/3 their height or 10', whichever is less. Logs over 4" diameter can be retained. All red slash should be removed.

Increasing shade and canopy-closure are important longer-term objectives in these stands. Transplanting of Douglas Fir or pine seedlings into the larger openings in the springtime is an economical and enjoyable way to accomplish this.

**Photo 16 - Critical treatment priority: Brush next to a home, extreme hazard**



Recent CAL FIRE defensible space inspections of the Gold Mountain community found an impressive level of compliance with Public Resources Code 4291, which requires 100' of Defensible Space around occupied structures. As vegetation never stops growing, maintaining compliance is an ongoing chore.

**Photo 17 - Critical treatment priority: Pine forest needing restoration**



Another site showing signs of logging-caused damage and in need of restoration work. Trees should be planted in large openings, small, crowded understory trees should be thinned, and remaining trees should be pruned.

Dead branches should be removed, and brush should be cleared from the bases of larger trees.



## **APPENDIX "D" HOA SIGN POLICY**

Nakoma Homeowners Association  
Standardized Signage Policy 3/7/09

Signs will be limited to "For Sale," "For Lease," "For Rent"

All signs must be replaced no later than January 1, 2010

All new signs (and old signs not in compliance with the previous signage policy) must comply with the new standards immediately

A file has been set up with the following Reno companies and the use of this company is recommended:

Instant Sign Center	Signs by Tomorrow
770 Smith Ridge	3595 Airway Drive
Reno, NV	Reno, NV
775-829-7446 (contact: Nikki Bomagat)	775-853-6990 (contact: Marlene)

If another company is used for the fabrication of the signs, the signs must conform to the following standards and a sample must be submitted to the Gold Mountain/ Nakoma HOA for approval:

18" tall by 24" wide

Made of 040 aluminum

Oracal #613 Forest Green background of Reverse Cut Vinyl (Instant Sign Center) or PMF #3308

Ink (Signs By Tomorrow), with white lettering

One-sided but with forest green on back of sign and rider

Three lines: Arial Rounded MT Font

Line one: "Nakoma" -- 1.4 inch copy

Line two: Statement of purpose (i.e. For Sale, For

Rent, For Lease) -- 2.5-inch copy

Line three: Name of realty company (this may be two lines if the company's name is long) -- 1.5-inch copy

Line four: Contact person and phone number -- 1.2-inch copy

Rider at bottom: Homesite number-- 2.5-inch copy

Frame: Double stake 18' by 24" black metal with one rider space at the bottom only

No other riders are permitted

No logos permitted

Attached clear flier box is permitted

Procedures for obtaining a sign:

Realtor contacts Instant Sign Center

Sign will be ready within 2 business days

See attached sign sample (pg. 2)

Note: GM logo no longer to be included.

# SIGNAGE

**Signs:** 18x24/ 6x24 single sided, reverse cut forest green vinyl, capitalized Arial Rounded font in white, back covered in black, no text.

Locked size on all copy, no real estate company name may exceed two lines.

**Frame:** Black, with bottom rider only.

